



## **Property Condition Report**

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**926 Whangarei Heads Road  
Parua Bay  
Whangarei District**

**Client:** Paul Sumich

**Inspection Date:** 9/01/2021

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## REPORT INTRODUCTION

Dear Paul Sumich.

RE: Property Inspection Report: 926 Whangarei Heads Road, Parua Bay.

Thank you for the opportunity to provide you with the following report, we hope it aids you with your investment.

This report has been compiled following a site inspection carried out on the 9/01/2021.

Please read this report in its entirety.

This report should not be seen as an all-encompassing report dealing with a building from every aspect, but rather a reasonable attempt to identify any significant defects visible at the time of the inspection.

This report is not a warranty against problems developing with the building after the date of the report. It is outside the scope of this report to investigate, or comment on if the dwelling complies with any building code legislations or local body bylaws.

Scope Building Surveyors recommend that quotes and advice are sought from Independent Qualified Persons on receipt of the property report for a more specific qualification of comments made by Scope Building Surveyors in the report, regarding any faults or defects identified, if more intrusive investigation is desired or simply in relation to any comment made.

This also applies to any verbal communication made by Scope Building Surveyors regarding any faults or defects identified or comments made.

If you require any clarification or wish to discuss any details of the report, please do not hesitate to contact us.

Yours sincerely

***Scope Building Surveyors Ltd***

## EXECUTIVE SUMMARY

Overall based on a visual examination, the property exterior as inspected is considered to be in an average condition for the age of the property and the materials and finishes incorporated.

The interior of the House is again in an average condition considering the age of the fittings and finishes.

The following items have been flagged during the inspection and need to be taken in to consideration.

## FURTHER INVESTIGATION RECOMMENDED

### SITE FEATURES

#### RETAINING WALLS

##### *Findings:*

Visible settlement cracks to road facing retaining wall. We recommend monitoring these areas, if condition worsens engage the services of a structural engineer to inspect further.

### NORTH ELEVATION

#### EXTERIOR JOINERY

##### *Findings:*

No head flashings to window joinery. Joinery has been face sealed to concrete. This may increase the risk of moisture ingress. We recommend monitoring this area. Further investigation may be required in these areas.

### EAST ELEVATION

#### EXTERIOR JOINERY

##### *Findings:*

Glazing face sealed to cladding. This is considered a high risk moisture ingress point. We recommend monitoring these areas for signs of ingress. Sealant should be regularly checked and replaced as required.

### SOUTH ELEVATION

#### EXTERIOR JOINERY

##### *Findings:*

Aluminium joinery face sealed, no head flashing. This is considered a high risk moisture ingress detail. We recommend monitoring this area for signs of ingress. The installation of a suitable head flashing should be considered.

### WEST ELEVATION

#### EXTERIOR JOINERY

##### *Findings:*

Aluminium joinery face sealed, no head flashing. This is considered a high risk moisture ingress detail. We recommend monitoring this area for signs of ingress. The installation of a suitable head flashing should be considered.

## REPAIR OR REPLACEMENT RECOMMENDED

### EAST ELEVATION

#### CLADDING SYSTEM

##### *Findings:*

Redundant penetrations to cladding. Redundant penetrations may increase the risk of moisture ingress. We recommend sealing these details to ensure cladding remains weathertight.

#### TIMBER DECKS & BALCONIES

##### *Findings:*

Handrail below 1m in height, handrail openings are greater than 100mm in diameter. This is a potential fall

hazard. We recommend upgrading hand rails to meet minimum recommendations.

## **SOUTH ELEVATION**

### **EXTERIOR JOINERY**

#### *Findings:*

Joinery glazing rubbers have shrunk. Loose rubbers increase the risk of moisture ingress. We recommend engaging the services of a glazier to replace damaged rubbers to ensure glazing remains weathertight and secure.

## **STAIRCASE**

### **HANDRAIL**

#### *Findings:*

No handrail/barrier to side of staircase, this presents a potential fall hazard of 1m or more. Minimum recommendations require the installation of a barrier where people could fall 1mtr or more. We recommend engaging a Builder to install a suitable handrail/barrier as required.

## **DWELLING SERVICES**

### **ELECTRICITY SERVICES**

#### *Findings:*

Power lead run externally to supply extraction unit. We recommend engaging the services of an electrician to install an external RCD supply.

Redundant wiring to ceiling in garage. We recommend engaging the set of an electrician to inspect and isolate as required.

## **MAINTENANCE RECOMMENDED**

## **NORTH ELEVATION**

### **CLADDING SYSTEM**

#### *Findings:*

Blister in paint work holding moisture. We recommend engaging the services of a suitably qualified painter to repair this area. Isolated repair to this area may be achievable.

## **SUMMARY CONCLUSION**

Items noted in the following report should receive eventual attention, as some of these if left unattended may have the potential to affect the habitability of the house.

Further investigation is recommended for any item that may impede habitability; unsafe or hazardous; does not operate properly or perform its intended function in response to normal use.

Items identified as requiring repair or replacement either are or have potential to significantly affect habitability and/or can be considered as requiring reasonable expense to mitigate and should be evaluated by professionals in appropriate trades prior to closing.

Minor defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes that could be expected with age, and general wear and tear.

## PROPERTY DESCRIPTION

This three bedroom, two bathroom dwelling is situated on a hillside section, above road level.

The building faces the road side to the North with access via a sloped concrete driveway providing access to a basement garage.

The dwelling has been constructed on a Type C slab on grade foundation.

Exterior cladding consists of painted stucco with a curved stucco clad roof and single glazed aluminium joinery.

The building appears to be originally constructed in the 1980s with no signs of structural alteration over the intervening years.

## CLIENT & INSPECTION DETAILS

### JOB BOOKING

Reference Number	2021/1338.
Property Address	926 Whangarei Heads Road.
Inspection Type	Property Condition Report.
Date of Inspection	9/01/2021.
Time of Inspection	9:00am.
Property Type	Residential.
Present at Inspection	Nil.
Occupancy	Vacant.

### CLIENT DETAILS

Report Commissioned by	Paul Sumich.
Email Address	

### WEATHER CONDITIONS

Atmosphere	Overcast.
Soil	Soil conditions were dry at the time of the Inspection.

### BUILDING CHARACTERISTICS

Approx Year of Construction	1980.
Building Type	Stand alone.
Levels	Split level.
Building Orientation	North facing street.
Site Exposure	High wind zone, Coastal.
Site Contour	Hillside section, above road level.

### UTILITY'S

Water Source	Mains Supply.
Sewage Disposal	Council Sewage System.

# SITE FEATURES

## DRIVEWAY

Description

Paved concrete surface.



## SURFACE WATER CONTROL

Description

Free Draining site.

## RETAINING WALLS

Description:

Concrete retaining wall to roadside.



**Findings:**

Visible settlement cracks to road facing retaining wall. We recommend monitoring these areas, if condition worsens engage the services of a structural engineer to inspect further.



# NORTH ELEVATION

## OVERVIEW

North Section:



## CLADDING SYSTEM

Description:

Stucco over concrete.



### Findings:

Blister in paint work holding moisture. We recommend engaging the services of a suitably qualified painter to repair this area. Isolated repair to this area may be achievable.



## EXTERIOR JOINERY

Description:

Aluminium joinery,  
single glazed.



### Findings:

No head flashings to window joinery. Joinery has been face sealed to concrete. This may increase the risk of moisture ingress. We recommend monitoring this area. Further investigation may be required in these areas.



# EAST ELEVATION

## OVERVIEW

North Section:



## CLADDING SYSTEM

Description:

Stucco over concrete.



### Findings:

Redundant penetrations to cladding. Redundant penetrations may increase the risk of moisture ingress. We recommend sealing these details to ensure cladding remains weathertight.



## EXTERIOR JOINERY

Description:

Aluminium joinery,  
single glazed.



### Findings:

Glazing face sealed to cladding. This is considered a high risk moisture ingress point. We recommend monitoring these areas for signs of ingress. Sealant should be regularly checked and replaced as required.

## TIMBER DECKS & BALCONIES

Description:

Painted concrete  
balcony.



**Findings:**

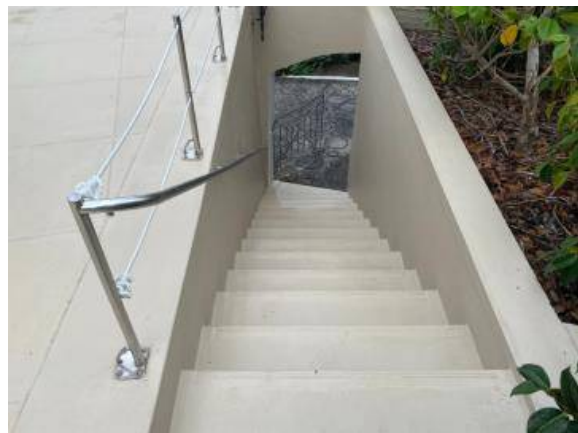
Handrail below 1m in height, handrail openings are greater than 100mm in diameter. This is a potential fall hazard. We recommend upgrading hand rails to meet minimum recommendations.



**STAIRCASES**

Description:

Painted concrete staircase.





# SOUTH ELEVATION

## OVERVIEW

North Section:



## CLADDING SYSTEM

Description:

Stucco over concrete.



## EXTERIOR JOINERY

Description:

Aluminium joinery, single glazed.



**Findings:**

Aluminium joinery face sealed, no head flashing. This is considered a high risk moisture ingress detail. We recommend monitoring this area for signs of ingress. The installation of a suitable head flashing should be considered.



Joinery glazing rubbers have shrunk. Loose rubbers increase the risk of moisture ingress. We recommend engaging the services of a glazier to replace damaged rubbers to ensure glazing remains weathertight and secure.



# WEST ELEVATION

## OVERVIEW

North Section:



## CLADDING SYSTEM

Description:

Stucco over concrete.



## EXTERIOR JOINERY

Description:

Aluminium joinery, single glazed.





**Findings:**

Aluminium joinery face sealed, no head flashing. This is considered a high risk moisture ingress detail. We recommend monitoring this area for signs of ingress. The installation of a suitable head flashing should be considered.



# FOUNDATION

## CONSTRUCTION TYPE

Description:

Type C - Slab on grade.

# ROOF

## ROOF COVERING

Accessibility:

The finished roof height exceeds safe access from a 3.6m ladder. Unable to safely access roof covering at the time of inspection, inspection will require additional access or temporary works from height.

Description:

Roof covering consists of painted stucco. Due to the nature of design we recommend engaging the services of a suitably qualified weathertight specialist to inspect further and confirm condition.



## GUTTERS

Description:

Water is diverted via curved roof to concrete troughs at base of roof line. Unable to confirm specific design is sufficient for roof catchment. Further investigation by a suitably qualified weathertight specialist recommended.



# ROOF SPACE

## ACCESS

Location

No roof space.

# KITCHEN

## LOCATION

Description: Open plan with Lounge.



## FLOOR COVERING

Description: Tiled floor covering.

## WALL LINING

Description: Painted Plasterboard.

## CEILING

Description: Soft board ceiling tiles.

## KITCHEN JOINERY

Description: Meltica Carcass.

## BENCH TOP

Description: Laminate Formica.

## SINK

Description: Stainless steel sink.

## SPLASH BACK

Description: Tiled splashback.

## OVEN

Description: Recessed electric wall oven.

## HOB

Description: Electric bench hob, analogue control.

## **RANGE HOOD**

Description: No extraction unit installed. We recommend the installation of a suitable extraction unit.

## **DISHWASHER**

Description: Freestanding dishwasher.

## **ELECTRICAL PROVISIONS**

Description: Sockets tested and working at the time of inspection.

# LOUNGE

## LOCATION

Description: Open plan with Kitchen.



## FLOOR COVERING

Description: Carpet floor covering, Tiled floor covering.

## WALL LINING

Description: Painted Plasterboard.

## CEILING

Description: Soft board ceiling tiles.

## ELECTRICAL PROVISIONS

Description: All sockets tested and working at the time of inspection.

# BEDROOM 1

## LOCATION

Description: First right off hallway.



## FLOOR COVERING

Description: Carpet floor covering.

## WALL LINING

Description: Painted lining paper over Plasterboard.

## CEILING

Description: Soft board ceiling tiles.

## STORAGE

Description: Built in double wardrobe.

## ELECTRICAL PROVISIONS

Description: All sockets tested and working at the time of inspection.



## BEDROOM 2

### LOCATION

Description: First left off hallway.



### FLOOR COVERING

Description: Carpet floor covering.

### WALL LINING

Description: Painted lining paper over Plasterboard.

### CEILING

Description: Soft board ceiling tiles.

### INTERIOR JOINERY

Description: Painted hollow core with timber frame.

### STORAGE

Description: Built in double wardrobe.

### ELECTRICAL PROVISIONS

Description: All sockets tested and working at the time of inspection.

## BEDROOM 3

### LOCATION

Description: Ground floor.



### FLOOR COVERING

Description: Tiled floor covering.

### WALL LINING

Description: Painted stucco.

### CEILING

Description: Painted concrete.

### INTERIOR JOINERY

Description: Varnished hollow core door and frame.

### STORAGE

Description: Built in double wardrobe.

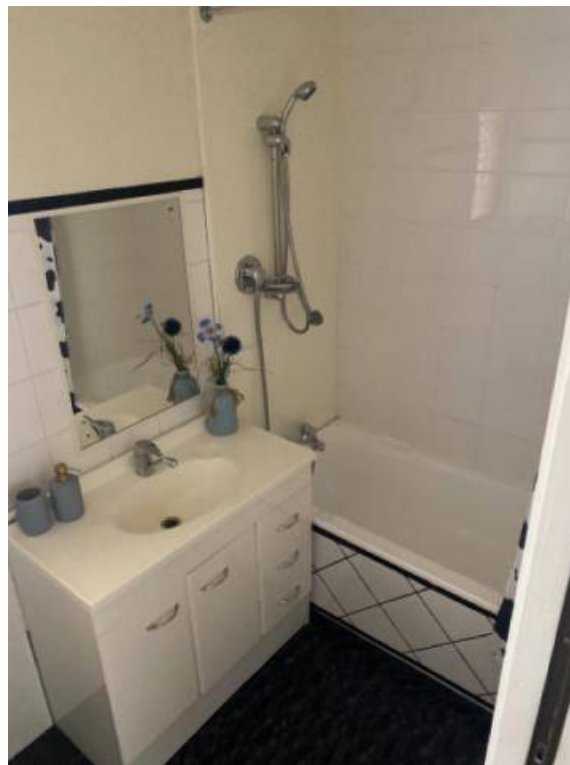
### ELECTRICAL PROVISIONS

Description: All sockets tested and working at the time of inspection.

# BATHROOM 1

## LOCATION

Description: Off hallway.



## FLOOR COVERING

Description: Tiled floor covering.

## WALL LINING

Description: Tiled wall linings.

## CEILING

Description: Soft board ceiling tiles.

## VANITY

Description: Freestanding melteca carcass with composite top.

## SHOWER

Description: Shub unit.

**BATH**

Description: Built in composite bath.

**VENTILATION**

Description: Passive ventilation via window.

**ELECTRICAL PROVISIONS**

Description: All sockets tested and working at the time of inspection.

# ENSUITE

## LOCATION

Description: Ground floor.



## FLOOR COVERING

Description: Tiled floor covering.

## WALL LINING

Description: Painted Plasterboard.

## CEILING

Description: Painted concrete.

## INTERIOR JOINERY

Description: Varnished hollow core door and frame.

## SHOWER

Description: Modular shower unit with moulded wall liner, glass door and composite base.  
Water Pressure: Average water pressure at the time of inspection.

**TOILET**

Description: S-Trap, Ceramic bowl, dual flush ceramic cistern.

**VENTILATION**

Description: Mechanical ventilation via extraction unit.

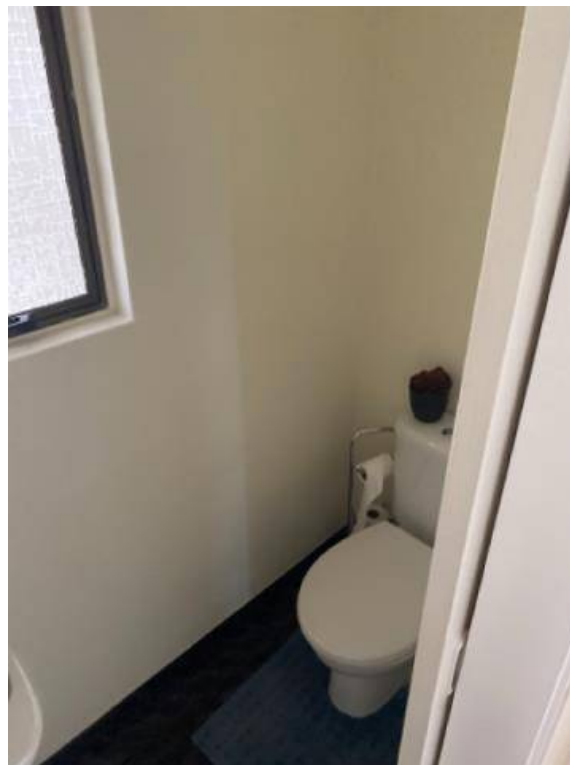
**ELECTRICAL PROVISIONS**

Description: All sockets tested and working at the time of inspection.

# TOILET

## LOCATION

Description: Off hallway.



## FLOOR COVERING

Description: Tiled floor covering.

## WALL LINING

Description: Painted lining paper over Plasterboard.

## CEILING

Description: Soft board ceiling tiles.

## INTERIOR JOINERY

Description: Painted wall hung slider.

## TOILET

Description: S-Trap, Ceramic bowl, dual flush ceramic cistern.

## **VENTILATION**

Description: Passive ventilation via window.

## **ELECTRICAL PROVISIONS**

Description: All sockets tested and working at the time of inspection.



# STAIRCASE

## LOCATION

Description:

Timber frame staircase leading to mezzanine.



Concrete staircase from basement to first floor.



## HANDRAIL

Description:

Wall hung handrail.



### Findings:

No handrail/barrier to side of staircase, this presents a potential fall hazard of 1m or more. Minimum recommendations require the installation of a barrier where people could fall 1mtr or more. We recommend engaging a Builder to install a suitable handrail/barrier as required.

# LAUNDRY

## LOCATION

Description: Off entry.



## WALL LINING

Description: Painted Plasterboard.

## CEILING

Description: Soft board ceiling tiles.

## FREESTANDING TUB

Description: Freestanding tub with coated steel base, stainless sink. Supplies water provisions and waste for Washing Machine.

## VENTILATION

Description: Passive ventilation via window.

## ELECTRICAL PROVISIONS

Description: All sockets tested and working at the time of inspection.

# INTERNAL GARAGE

## LOCATION

Description: Basement garage.



## FLOOR COVERING

Description: Painted Concrete floor.

## WALL LINING

Description: Painted Plasterboard.

## GARAGE DOOR

Description: Single Roller door with electric opening system.

## ELECTRICAL PROVISIONS

Description: Sockets tested and working fine at the time of inspection.

# DWELLING SERVICES

## HEATING SYSTEMS

Description:

Heat pump. This unit was not assessed as it falls outside the scope of this inspection, further inspection from a heating specialist is recommended.



## ELECTRICITY SERVICES

Description:

Due to the age of the building, we recommend engaging the services of a registered electrician to conduct an electrical inspection.

**Findings:**

Power lead run externally to supply extraction unit. We recommend engaging the services of an electrician to install an external RCD supply.



Redundant wiring to ceiling in garage. We recommend engaging the set of an electrician to inspect and isolate as required.



## WATER SERVICES

Description:

Water supply to site via council mains.

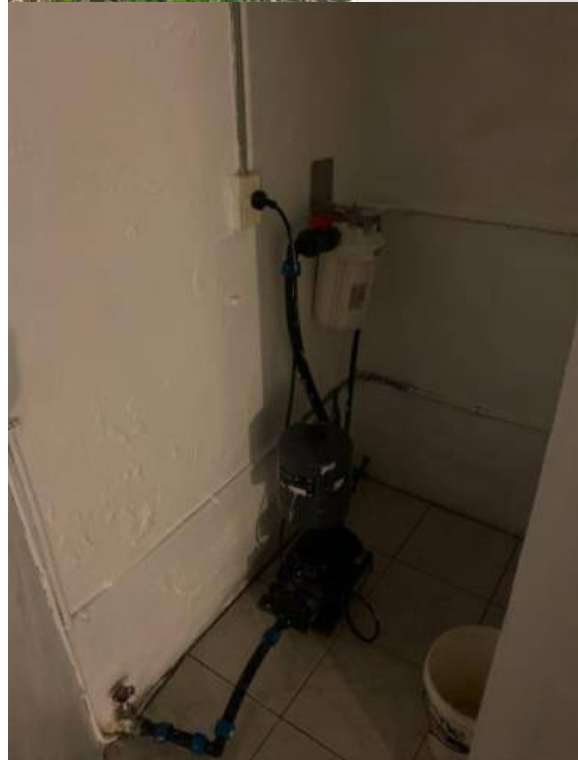


Catchment:

Rain water is caught via roof catchment and discharged to concrete water tank.



Water pump located in garage.



## HOT WATER SERVICES

Description:

Hot water cylinder.



## FOUL WATER DISPOSAL

Description:

Foul water discharged to council supply.



## INSPECTION SCOPE

This inspection is based on experience and reasonable opinion and is not a guarantee against moisture ingress at the time of inspection or in the future. This inspection has been carried out to the writer's best ability with all reasonable care taken using visual and non-invasive testing with meters as noted. This report is a guide only (as per NZS 4306:2005) and not a guarantee against moisture ingress or structural failure and is to be accepted as such by the owner.

All reasonable attempts have been made to identify any significant defects visible at the time of the inspection. The inspector has not moved furniture, fixtures, stored items, soils, plants, checked window/door locks, etc. at the time of inspection. He cannot see inside walls or other concealed areas and cannot detect damage or defects that are not visible in most cases. The aid of testing equipment was used at the time of inspection, but these tools have limitations and cannot detect defects in all circumstances.

Whether or not services have been used for some time prior to an inspection being carried out may affect the detection of leaks and other defects. For example, in the case of a shower enclosure, the absence of any dampness at the time of inspection does not necessarily mean that the enclosure will not leak.

A Trotec T660 non-invasive moisture meter was used as an aid in this inspection. This in itself cannot be used to confirm or eliminate the possibility of moisture or deterioration in the framing timber or underlying materials. It is of limited use with some plaster systems and other factors.

This property report is not a Code of Compliance Certificate or a Certificate of Acceptance under the Building Act. It is also not a statement that the property complies with the requirements of any other Act, regulation or by-law. Nor is this property report a warranty against problems developing with the building after the date of this report. This inspection should not be confused with an appraisal, building code inspection or any guarantee of any kind, but as a tool to aid you to be better prepared and knowledgeable.

Inspections – over three meters. Worksafe regulations state that working at heights over three meters is done safely. If climbing over three meters then Worksafe state – guarding, safety nets or fall arrest systems should be in place. This is impracticable in the situation of house inspections, therefore our policy is, that Inspector's only climb as far as their ladders take them, keeping their own personal safety paramount.

Reasonable access – areas where safe, unobstructed access is provided and the minimum clearance's specified below are available; or where these clearance's are not available, areas within the inspector's unobstructed line of sight:

Roof space – access manhole 450 x 400mm; crawl space 600x 600mm; height accessible from a 3.6m ladder or such other means of access that meet H&S requirements.

Subfloor – access manhole 500 x 400mm; crawl space vertical clearance timber floor 400mm (from underside of bearer) Concrete floor 500mm.

Roof exterior – accessible from a 3.6m ladder or such other means of access that meet Worksafe requirements.

This inspection has been undertaken in accordance with the guidelines as set down by Standards New Zealand NZS4306:2005.

## STATEMENT OF POLICY

- a) This is a report of a visual only, non-invasive inspection of the areas of the building which were readily visible at the time of inspection. The inspection did not include any areas or components which were concealed or closed in behind finished surfaces (such as plumbing, drainage, heating, framing, ventilation, insulation or wiring) or which required the moving of anything which impeded access or limited visibility (such as floor coverings, furniture, appliances, personal (property, vehicles, vegetation, debris or soil).
- b) The inspection did not assess compliance with the NZ Building Code including the Code's weather tightness requirements, or structural aspects. On request, specialist inspections can be arranged of weather tightness or structure or of any systems including electrical, plumbing, gas or heating.
- c) The purpose of the inspection was to assess the general condition of the building based on the limited visual inspection described in this report and may not identify all past, present or future defects. Descriptions in this report of systems or appliances relate to existence only and not adequacy or life expectancy. Any area or component of the building or any item or system not specifically identified in this report as having been inspected was excluded from the scope of the inspection.
- d) This report has been prepared on the basis of a visual inspection of the building works using normal readily available access, and without testing of components for the assessment of the overall structural condition of it and associated items, and without recourse to construction drawings.
- e) This report is based on experience and reasonable opinion however is not a guarantee against moisture ingress at the time of inspection or in the future. This inspection has been carried out to the writer's best ability with all reasonable care taken using visual and non-invasive testing with meters as noted. This report is a guide only (as per NZ Standard 4306:2005) and not a guarantee against moisture ingress or structural failure and is to be accepted as such by the owner.
- f) It is confirmed that no detailed geotechnical investigation has been included in this brief. An investigation of the condition and location of underground drainage and services and of electrical, gas and plumbing (except as otherwise may be described in this report) is not included in this brief.
- g) No warranty can be given as to other defects, not apparent to visual inspection at the time; inclusive of underground services, waterproofing, soil stability or the moisture content in partitions or exterior cladding's.
- h) Weather conditions can affect moisture found e.g. long dry spells, driving rain in certain directions which can cause localised leaks and may only occur three to four times per year. Guidelines as below, flashings, ground levels, etc. This stresses the importance of flashings, ground levels, etc., which may be highlighted in this report.
- i) This property report does not include the structural, electrical, plumbing or gas piping and fitting, home heating state of the premises, as our consultants are not qualified for this but can arrange for these areas to be inspected by those people whose qualifications enable them to do so.
- j) This report does not include any positioning of building or improvements in relation to site boundaries, or provide any guarantee whatsoever those items surveyed will not fail at some later date, and information herein pertains strictly to observations the day of inspection and accessibility only.
- k) If the property is controlled by a Body Corporate or similar it would be recommended prior to purchase a copy of the minutes be obtained from the Corporate Secretary to establish the history of the inspected property or other properties under such Body Corporate. This inspection has been undertaken on this sole dwelling and does not extend to remainder of complex, or common areas. The inspection is confined to the above property only and does not cover structural integrity of the entire complex.
- l) This document and information contained within is intended only for the use of the addressee named above.

All reasonable measures have been employed to detect possible defects but give no warranty against, and is not limited to:

- m) the assessment of an apparent defect which may be subject to extreme weather conditions
- n) misinformation supplied by vendor, agent, person for whom report being prepared.
- o) concealment, intentional or otherwise, of a possible defect.
- p) assessment of any apparent defect which may occur intermittently or usually occurs after regular use.



- q) presence of chattels, furnishings and personal effects
- r) adequacy of footings
- s) adequacy of concealed damp-proof membrane's
- t) adequacy of concealed drainage
- u) swimming pools, spa pools, sauna's and associated equipment
- v) the operation of fireplaces and chimneys
- w) intercom systems
- x) floor coverings
- y) appliances, including but not limited to; dishwasher's, waste disposal units, ovens, ducted vacuum systems
- z) structural stability (other than pipe instability)
- aa) hazards including but not limited to Asbestos and Illicit Substance contamination.
- ab) hot water cylinders
- ac) window/door locks, bolts, etc.
- ad) any other factors limiting the preparation of this report.

CONFIDENTIAL REPORT: The inspection report is **prepared for the client solely and exclusively** for the clients own information and may not be relied upon by any other person. The client agrees to maintain the confidentiality of the inspection report and agrees not to disclose any part of it to any other person. The client may distribute copies of the inspection report to the seller and the real estate agents directly involved in this transaction, but said persons are not specifically intended beneficiaries of this agreement or the inspection report. The client and the inspector do not in any way intend to benefit said seller or the real estate agents directly or indirectly through this agreement or the inspection report. The client agrees to indemnify, defend and hold the inspector harmless from any third party claims arising out of the clients unauthorised distribution of the inspection report.