

LAND INFORMATION MEMORANDUM NO: LM2100611**Received: 30 Apr 2021****Issued: 11 May 2021****Section 44A, Local Government Official Information
And Meetings Act 1987****APPLICANT**Optimize Realty Limited
33-35 Robert Street
Whangarei 0110**SITE INFORMATION**Property ID: 101792
Street Address: 25 F Tutukaka Block Road
Whangarei 0173
Legal Description: LOT 2 DP 194554 HAVING 1/8 SH IN LOT 6 DP194554

This is a Land Information Memorandum only.

Full payment has been made for this Land Information Memorandum.

1: PROPERTY DETAILS.

- Location Map.
- Aerial Photo.
- Deposited Plan: DP194544 – 21/06/2001
- Record of Title: NA123D/373 – 21/06/2001

2: INFORMATION IDENTIFYING EACH (IF ANY) SPECIAL FEATURE OR CHARACTERISTIC OF THE LAND CONCERNED, INCLUDING BUT NOT LIMITED TO POTENTIAL EROSION, AVULSION, FALLING DEBRIS, SUBSIDENCE, SLIPPAGE, ALLUVION, OR INUNDATION, OR LIKELY PRESENCE OF HAZARDOUS CONTAMINANTS, BEING A FEATURE OR CHARACTERISTIC THAT IS KNOWN TO THE WHANGAREI DISTRICT COUNCIL.

This property is located in an area that is included in a report by Tonkin & Taylor Ltd on stability hazard potential, see map attached and refer <https://www.wdc.govt.nz/Services/Property/Planning/Property-Hazard-Reports-and-Map>

- Stability Hazards map - showing low and high stability hazard.

Regional Policy Statement

The Regional Policy Statement's role is to promote sustainable management of Northland's natural and physical resources. It does this by:

- Providing an overview of the region's resource management issues; and
- Setting out policies and methods to achieve integrated management of Northland's natural and physical resources.

Refer

<https://www.nrc.govt.nz/resource-library-summary/plans-and-policies/regional-policy-statement>

3: INFORMATION ON COUNCIL AND PRIVATE UTILITY (SEWERAGE, WATER & STORMWATER) SERVICES.

No Whangarei District Council services available in this area.

Service Sheet/s (e.g. As-Built, House Connection, House Drainage etc...) for this property from the building file is attached.

As Built Plan from BC0900764

4: INFORMATION RELATING TO VALUATION, LAND, AND WATER RATES. INFORMATION FROM WHANGAREI DISTRICT COUNCIL RECORDS.

Information on Valuation, Rates and Water Meter location (if applicable) for the current financial year, is attached.

5: INFORMATION CONCERNING ANY PERMIT, CONSENT, CERTIFICATE, NOTICE ORDER, OR REQUISITION AFFECTING THE LAND OR ANY BUILDING ON THE LAND PREVIOUSLY ISSUED BY THE WHANGAREI DISTRICT COUNCIL OR BUILDING CERTIFIER (WHETHER UNDER THE BUILDING ACT 1991 AND/OR 2004 OR ANY OTHER ACT).

After an extensive search of Council records, we were unable to locate any building permits for the original Dwelling

Copy of Building Consents and Code Compliance Certificates issued for this property are attached.

BC0900764 Ensuite & New Effluent System – 13/08/2009
Code Compliance Certificate Issued – 14/12/2009

BC1001127 – New Deck & Water Tank – Issued – 23/09/2010
Code Compliance Certificate Issued – 08/02/2011

BC1100950 New Sleepout & Utility Room – Issued – 25/11/2011
Code Compliance Certificate Issued – 31/17/2012

Stormwater attenuation may be required on this property for new building work that results in an increase of > 30m² in impervious area including paving, driveways etc.

For the Stormwater Attenuation guidance notes refer
<https://www.wdc.govt.nz/Services/Water-services/Stormwater/Stormwater-flood-management>

6: INFORMATION RELATING TO THE USE TO WHICH THE LAND MAY BE PUT AND ANY CONDITIONS ATTACHED TO THAT USE.

ENVIRONMENT:

Rural Village Residential Environment see map attached and refer to Part G Environments.
<https://www.wdc.govt.nz/Services/Property/Planning/Operative-District-Plan>

This property is located in a Coastal Area Environment, see map attached and refer Part F - CA - Coastal Area (CA.2)
<https://www.wdc.govt.nz/Services/Property/Planning/Operative-District-Plan>

A copy of the Resource Consent Land Use/Permitted Boundary 'Notice of Decision' by Council for this property is attached.

LU1100156 – Two Additional Buildings - 19/12/2011

7: INFORMATION WHICH IN TERMS OF ANY OTHER ACT HAS BEEN NOTIFIED TO THE WHANGAREI DISTRICT COUNCIL BY ANY STATUTORY ORGANISATION HAVING THE POWER TO CLASSIFY LAND OR BUILDINGS FOR ANY PURPOSE.

Whangarei District Council is not aware of any classification attached to the land or building/s.

8: OTHER INFORMATION CONCERNING THE LAND AS WHANGAREI DISTRICT COUNCIL CONSIDERS, AT COUNCILS DISCRETION, TO BE RELEVANT.

Whangarei District Council recommends that all Whangarei District residents visit the Northland Regional Council website, <https://www.nrc.govt.nz/> for information on Civil Defence hazard response. This information includes Tsunami evacuation zones, maps and community response plans for flooding and extreme weather events etc.

Copies of site plan, floor plan and elevations are attached for your information.

AWWS Service Report – 12/11/2020

9: INFORMATION RELATING TO ANY UTILITY SERVICE OTHER THAN COUNCILS SUCH AS TELEPHONE, ELECTRICITY, GAS AND REGIONAL COUNCIL WILL NEED TO BE OBTAINED FROM THE RELEVANT UTILITY OPERATOR.

Further information may be available from other authorities; Northland Regional Council; Northpower; Spark; Vector Limited; etc.

DISCLAIMER

Land Information Memoranda (LIM) are prepared under the provisions of Section 44A of the Local Government Official Information and Meetings Act 1987. An inspection of the land or building(s) has not been completed for the purposes of preparing the LIM. It has been compiled from the records held by Whangarei District Council. The information contained in the LIM is correct at the date the LIM report is issued.

A LIM is prepared for the use of the Applicant and may not be able to be relied on by other parties.

Advice from an independent professional such as a lawyer or property advisor should be sought regarding the contents of this LIM and the information contained herewith.

Additional information regarding the land or buildings (such as resource consents and other permissions and restrictions), which is not contained in this LIM, may also be held by the Northland Regional Council. The Northland Regional Council should be contacted for that information. Ph (09)4701200 or 0800 002 004 or www.nrc.govt.nz

A LIM is not a suitable search of Council's records for the purposes of the National Environmental Standards (NES) for soil contamination of a potentially contaminated site.

Signed for and on behalf of Council:





Lee Mitchell
Property Assessment Officer

Property Map



New Subdivisions

-  Proposed Pre-223
-  223 Certificate

New subdivisions: Proposed as accepted, pre-223 and 223 Certificate with set Conditions.

Land Parcel boundaries are indicative only and are not survey accurate. Area measurement is derived from the displayed geometry and is approximate. True accurate boundary dimensions can be obtained from LINZ survey and title plans

Tuesday, May 11, 2021

Scale: 1:500



The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed. Cadastral Information has been derived from land Information New Zealand's (LINZ) Core Record System Database (CRS). CROWN COPYRIGHT RESERVED. © Copyright Whangarei District Council.

Aerial Photography



Tuesday, May 11, 2021

Scale:1:500



This map was last updated in 2018. It includes New Zealand's most current publicly owned aerial imagery and is sourced from the LINZ Data Service.

The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed. Cadastral Information has been derived from land Information New Zealand's (LINZ) Core Record System Database (CRS). CROWN COPYRIGHT RESERVED. © Copyright Whangarei District Council.

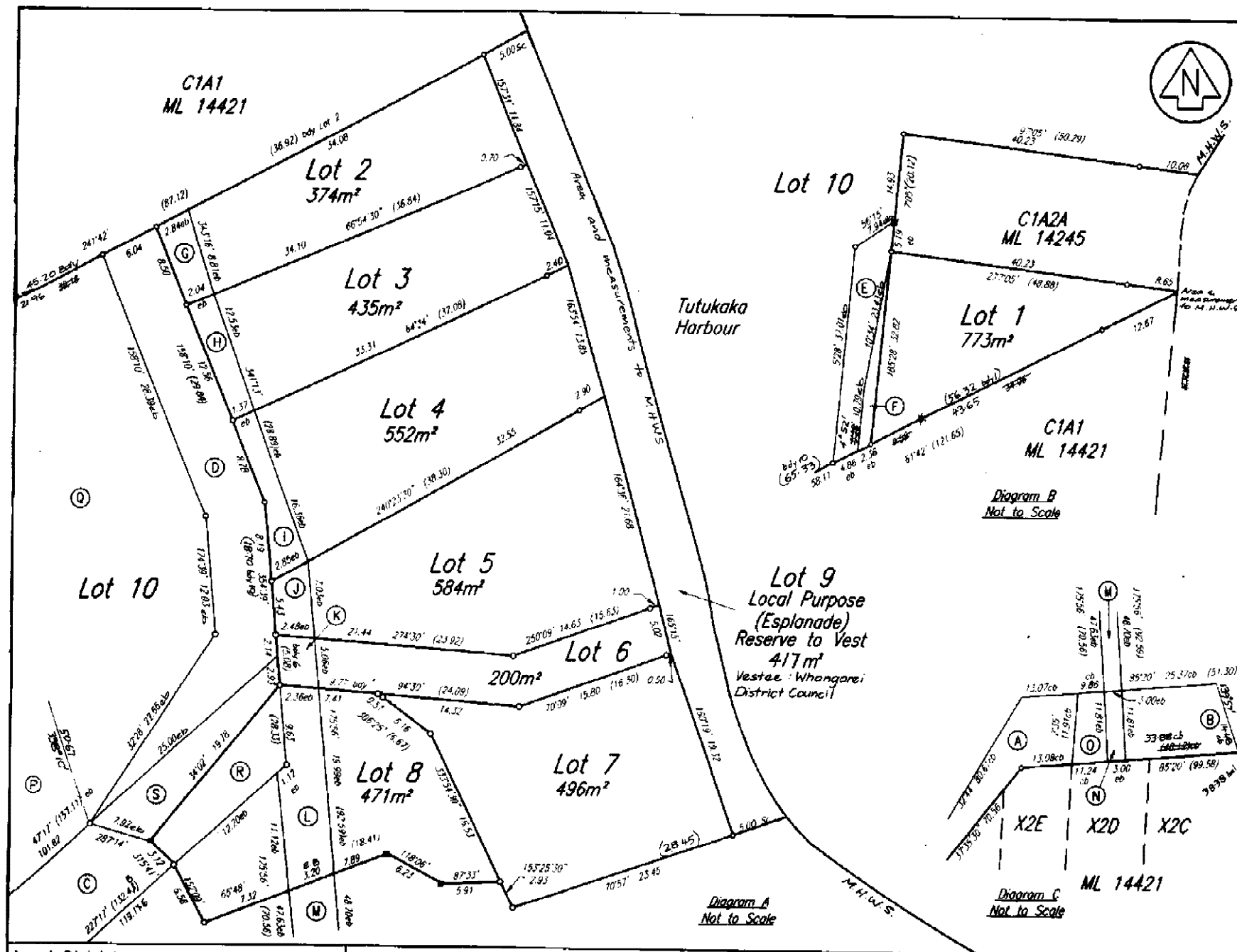
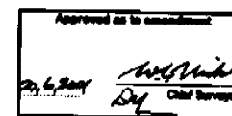


Diagram A
Not to Scale

Diagram C
Not to Scale

Approvals



Sheet 2 of 2 Sheets

I, Graeme Robert Webster of Whangarei, Registered Surveyor and holder of an annual practising certificate (or who may act as a registered surveyor pursuant to Section 25 of the Survey Act 1986) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.
Dated at Whangarei this 22nd day of March 1999
Signature: *[Signature]*

Field Book p. Traverse Book p.
Reference Plans
Examined *M. Anz* Correct
Approved as to Survey *[Signature]*
22/3/2000 Chief Surveyor

Deposited this 21st day of June 1999
for the District Land Registrar
File 1097185 - Brophy
Received 28 JAN 2000
Instructions Approved LM93/15.

Land District North Auckland
Survey Block & District IV Whangarei
NZMS 261 Sheet Red Map No

Lots 1-10 being a Subdivision of Lot 1
DP 128751

Territorial Authority Whangarei District
Surveyed By Simpson, Shaw & Co.
Scale As Shown Date August 1998

DP 194554



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier **NA123D/373**
Land Registration District **North Auckland**
Date Issued 21 June 2001

Prior References

75A/430-431 77B/277-281 NA75C/434

Estate Fee Simple
Area 374 square metres more or less
Legal Description Lot 2 Deposited Plan 194554
Registered Owners
Winfield Malloch Bennett and Wendy Lorraine Riley-Bennett

Estate Fee Simple - 1/8 share
Area 200 square metres more or less
Legal Description Lot 6 Deposited Plan 194554
Registered Owners
Winfield Malloch Bennett and Wendy Lorraine Riley-Bennett

Interests

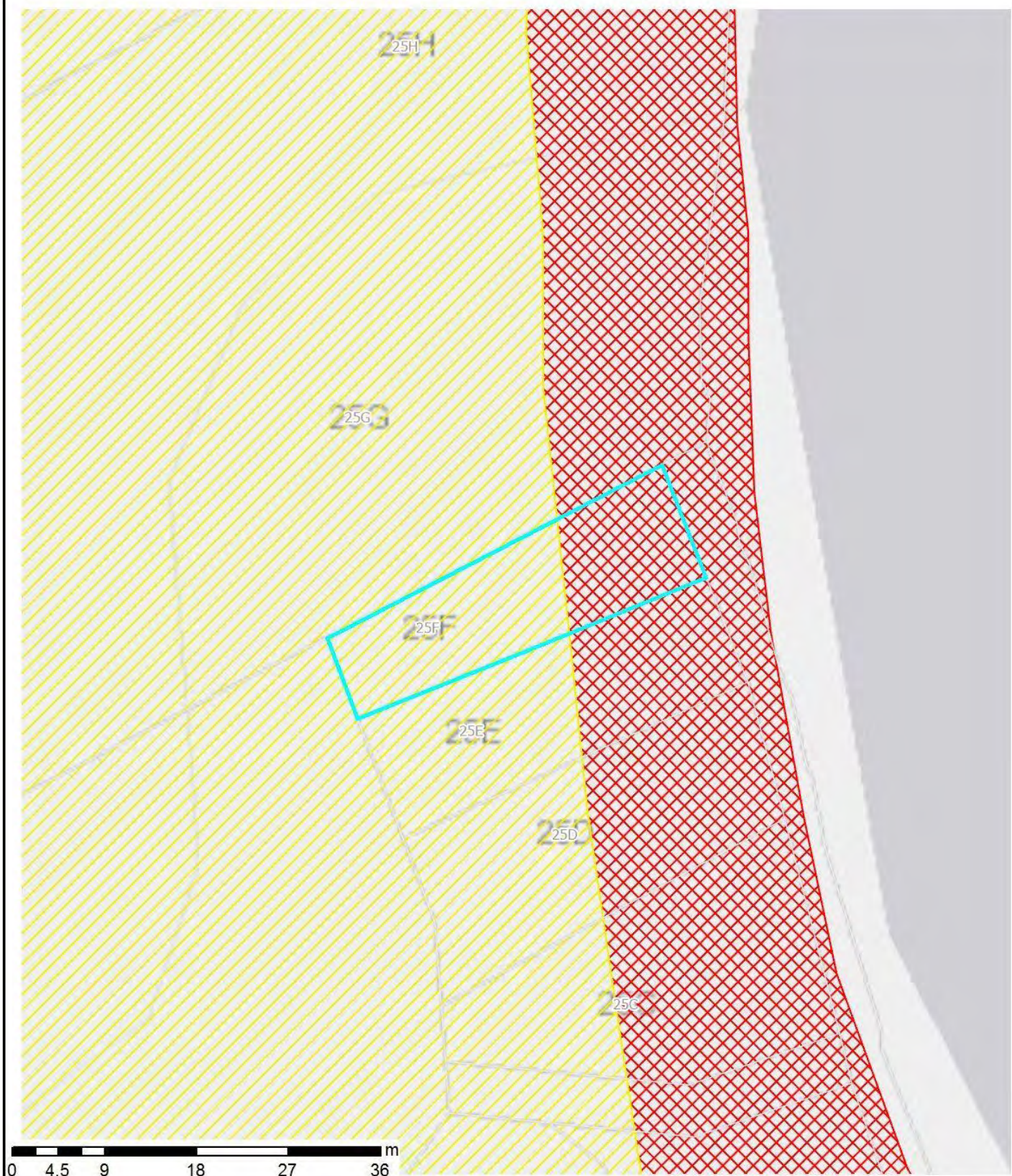
Subject to Section 241(2) Resource Management Act 1991

Appurtenant hereto are rights of way created by Transfer C234395.2 - 1.2.1991 at 2.08 pm

Appurtenant hereto are rights of way and rights to transmit electricity and drain sewage specified in Easement Certificate D611645.18 - produced 11.6.2001 at 9.08 am and entered 21.6.2001 at 9.00 am (affects Lot 2 DP 194554)

Subject to a right to transmit electricity over part marked G (affects Lot 2 DP 194554), a right to transmit electricity over part marked K and rights to transmit electricity and drain sewage (affects Lot 6 DP 194554) on DP 194554 specified in Easement Certificate D611645.18 - produced 11.6.2001 at 9.08 am and entered 21.6.2001 at 9.00 am

Some of the easements specified in Easement Certificate D611645.18 are subject to Section 243 (a) Resource Management Act 1991 (see DP 194554)



This Land Stability hazard information was prepared by Tonkin and Taylor Engineers Ltd.

Hazard information as shown is approximate and should not be used as a replacement for site specific investigation and assessments. The absence of hazard information shown does not mean that there is none, only that the information may not yet have been collected.

Land InStability

- High Hazard
- Moderate Hazard
- Low Hazard

Tuesday, May 11, 2021

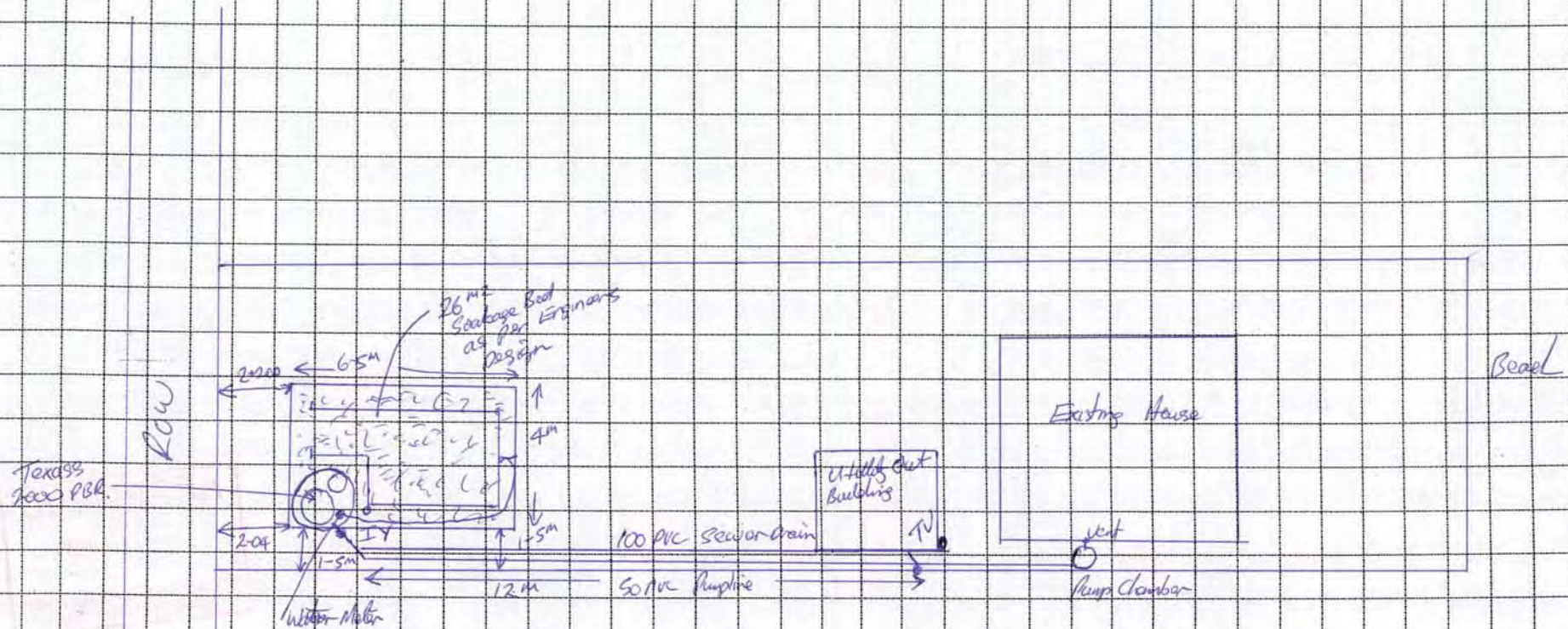
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PART C As Built Services Plan

(To be completed in all cases. If details are already noted on separate drawings then provide copies in duplicate as appropriate and attach to this sheet. Ensure that drawing numbers, etc, is noted below)



Scale NTS in _____
Site Address Lot 2 Oturu Bay



Whangarei District Council
Forum North - Private Bag 9023
Whangarei New Zealand
Ph:0-9-430 4200 Fax:0-9-438 7632
Email: mailroom@wdc.govt.nz

Rates LIM Report

As at: Tuesday, 11 May, 2021

Property Number 101792
Legal Description LOT 2 DP 194554 - HAVING 1/8SH IN LOT 6 DP 194554 BEING 200M2
Assessment Number 0034021618
Address 25 F Tutukaka Block Road Whangarei 0173
Record of Title(s) 123D/373
Land Value \$746,000
Capital Value \$1,042,000
Date of Valuation 01-August-2018
Effective Date (used for rating purposes) 01-July-2019
Meter Location

Rates Breakdown (up to 30 June 2021)

Rates Charge	Charge Total
District-wide Refuse Management	\$191.00
General Residential	\$1,794.43
Uniform Annual General Charge	\$486.00
Regional Civil Defence & Hazard Management	\$21.44
Regional Council Services	\$120.20
Regional Emergency Services Rate	\$11.71
Regional Flood Infrastructure	\$27.05
Regional Fresh Water Management	\$146.66
Regional Infrastructure	\$17.90
Regional Land Management	\$68.18
Regional Pest Management	\$60.11
Regional Sporting Facilities	\$16.76
Regional Transport Rate	\$23.20
Annual Charge Total	\$2,984.64

Opening Balance as at 01/07/2020 **\$0.00**

Rates Instalments	Total
20/07/2020 Instalment	\$746.64
20/10/2020 Instalment	\$746.00
20/01/2021 Instalment	\$746.00
20/04/2021 Instalment	\$746.00
Rates Total	\$2,984.64

Balance to Clear **\$746.00**

0900764

BUILDING CONSENT No: BC0900764
Section 51, Building Act 2004



WHANGAREI
DISTRICT COUNCIL

Issued: 13 August 2009
Project Information Memorandum No: PM0900779

The Building

Street address of building: 25 F Tutukaka Block Rd Whangarei 0173
Legal description of land where building is located:
LOT 2 DP 194554
LLP: 101227
Building Name: N/A
Location of building within site/block number: N/A
Level/unit number: N/A

The Owner

W M Bennett
W L Riley-Bennett
PO Box 7141
Tikipunga
Whangarei 0144

Phone number: (Mb) 021 733 186
Facsimile number: N/A
Email address: N/A
Website: N/A

Street address/registered office: 25 F Tutukaka Block Rd Whangarei 0173

First point of contact for communications with council/building consent authority

Contact Person

Beazley Design Limited
PO Box 7002
Tikipunga
Whangarei 0144

Phone number: (09) 438 3277
Facsimile number: (09) 438 3255
Email address: N/A
Website: N/A

Building Work

The following building work is authorised by this consent:

Alterations to Existing Dwelling - Ensuite
New Effluent System

*Creating the ultimate
living environment*

Forum North, Private Bag 9023
Whangarei 0148, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

BUILDING CONSENT NO BC0900764

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Section 90 Building Act 2004

See attached list of required inspections.

Compliance Schedule

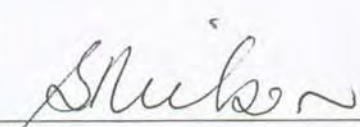
A compliance schedule is not required for the building.

Attachments

No attachments.

Additional Information

1. Dust Nuisance
The applicant must control dust nuisance created by any site or building works.
2. Toilet Facilities
Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.
3. General
Effluent Field - The Conditions of the Resource Consent Decision (Doc No. 146984) must be followed



Signature

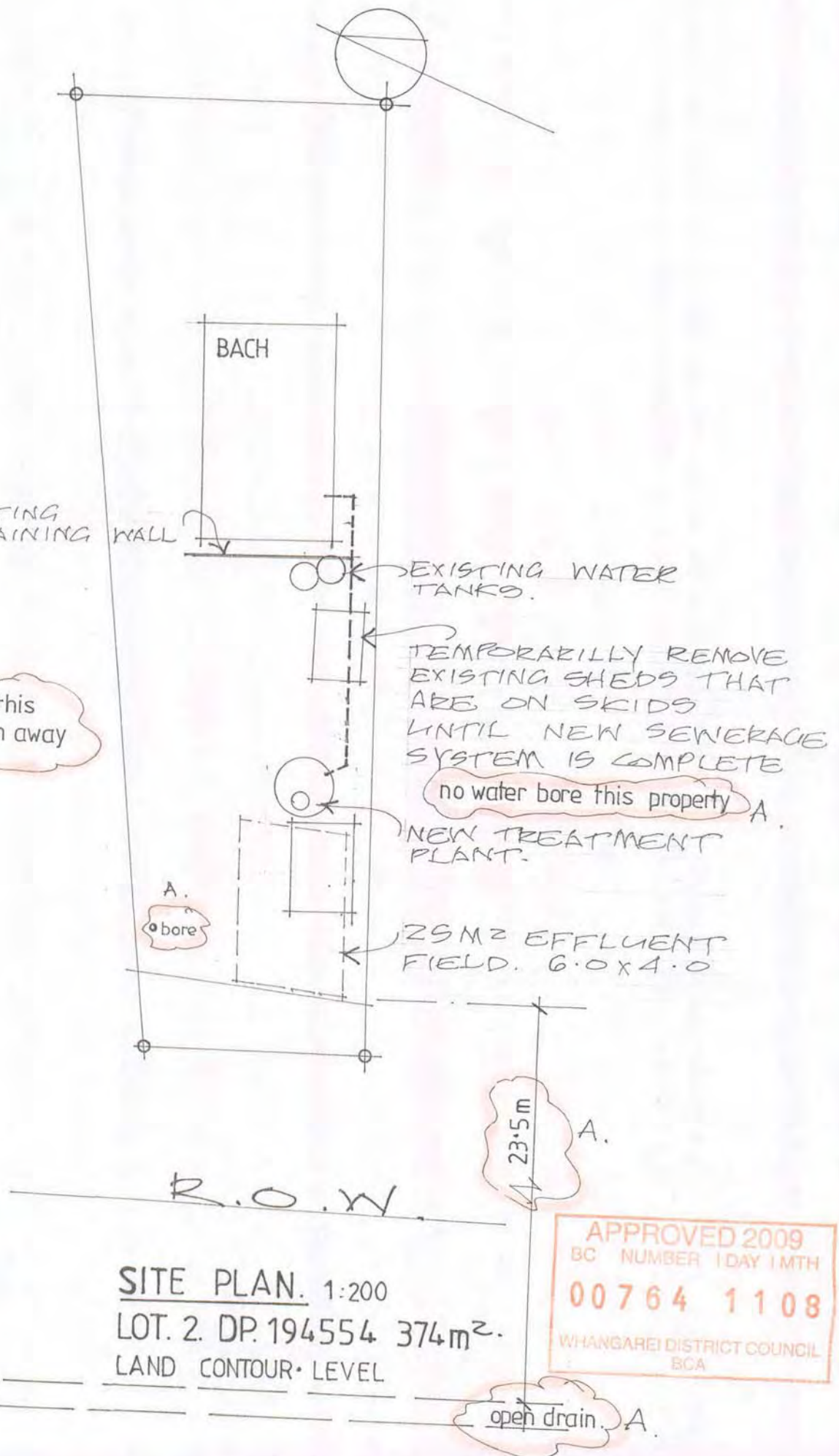
(Susan Neilsen)

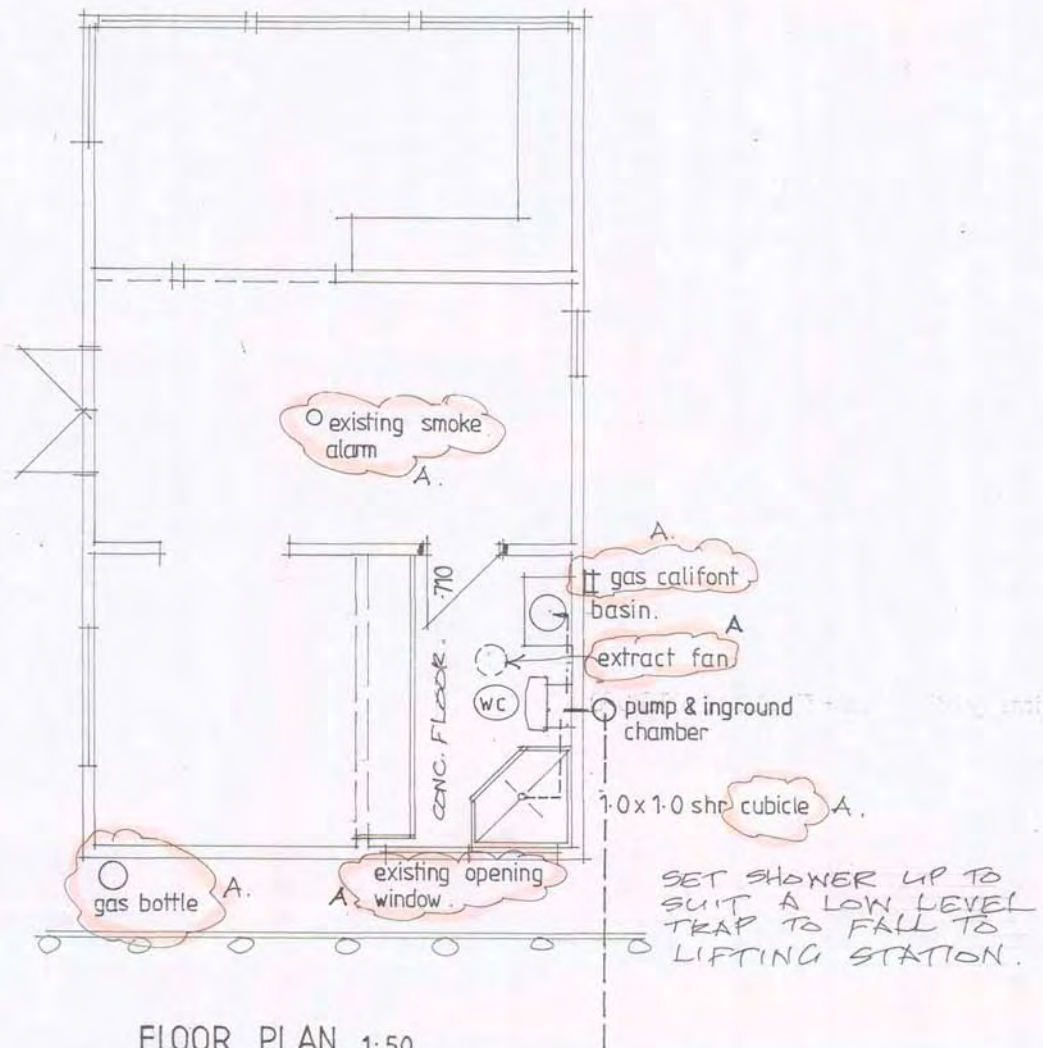
SUPPORT ASSISTANT – BUILDING COMPLIANCE

Position

On behalf of: Whangarei District Council

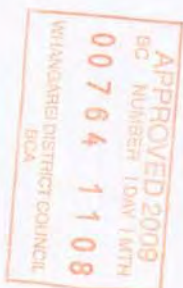
Date: 13 August 2009





FLOOR PLAN 1:50

- PLUMBING & DRAINAGE TO COMPLY WITH AS/NZS 3500 & NZS 7649.
ALL DRAINS TO BE 100L PVC.
MIN. GRADIENT 1:60
- ALL GAS WORK TO COMPLY WITH NZBC F11. AND WORK TO BE CARRIED OUT BY REGISTERED GAS FITTERS.



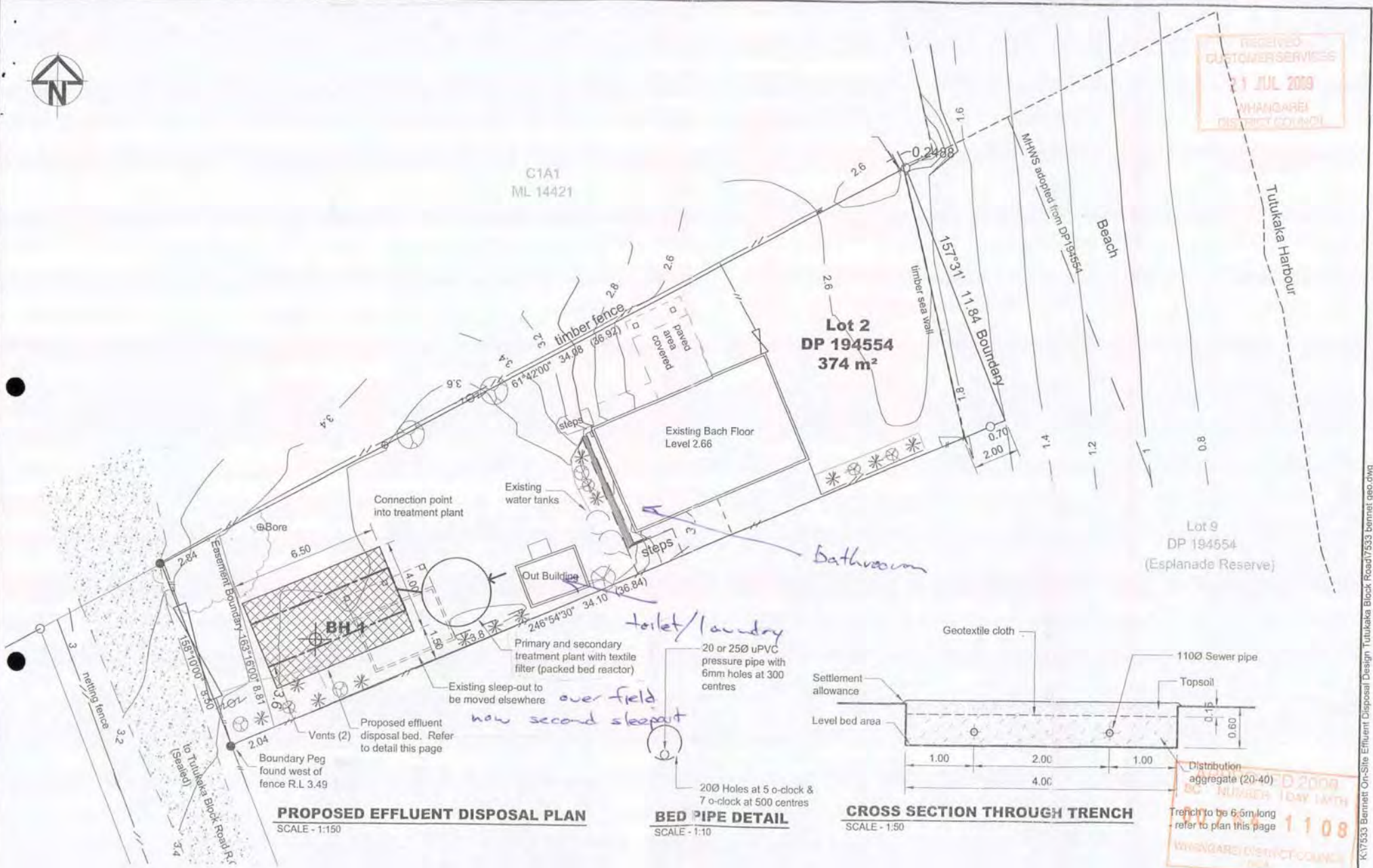


RECEIVED
CUSTOMERSERVICES
1 JUL 2009
WHANGAREI
DISTRICT COUNCIL

C1A1
ML 14421

Lot 2
DP 194554
374 m²

Lot 9
DP 194554
(Esplanade Reserve)



PROPOSED EFFLUENT DISPOSAL PLAN
SCALE - 1:150

BED PIPE DETAIL
SCALE - 1:10

CROSS SECTION THROUGH TRENCH
SCALE - 1:50

Distribution
aggregate (20-40)
Trench to be 6.5m long
refer to plan this page
1108
WHANGAREI DISTRICT COUNCIL

NOTE:
SITE INFORMATION ADAPTED FROM SURVEY
DRAWING PROVIDED BY BOUNDARY HUNTER LTD
REFERENCE 2635;



HAWTHORN GEDDES
engineers & architects ltd
7 SELWYN AVENUE, WHANGAREI 0110
PO BOX 575, WHANGAREI 0140, NZ
TELEPHONE (09) 438 7139, FAX (09) 4300711
EMAIL: hg@hgc.co.nz

CLIENT **W BENNETT**
PROJECT **ON-SITE EFFLUENT DISPOSAL DESIGN
TUTUKAKA BLOCK ROAD, TUTUKAKA**
DRAWING **EFFLUENT LOCATION AND DETAILS**

REVISIONS	DATE	BY	DATE
R1	ISSUED WITH REPORT	TRH	16/07/09
REV	REVISION DETAILS	BY	DATE

THIS DRAWING WAS PRODUCED BY COMPUTER AIDED DRAWING. IT SHOULD NOT BE AMENDED MANUALLY AND MAY HAVE BEEN PHOTO-REDUCED		SCALE @ A3 AS SHOWN
DRAWN	TANYA H JUL 2009	PROJECT NO
CHECK	DRAN RODICA	7533
APPROVED		SHEET
		C01
		R1

In reply please quote: 7533

9 July 2009

Wendy Bennett
PO Box 402038
Tutukaka 0153

ON-SITE EFFLUENT DISPOSAL DESIGN
LOT 2 DP 194554, OTURU BAY

Purpose

The purpose of this report is to provide an on-site effluent disposal design for a future dwelling on the above property. This report is suitable for a building consent and a resource consent application.

Proposal

The proposal is to build a future three-bedroom dwelling on the above property fed from a water supply collected from the roof and stored in tanks. It is proposed to install a dishwasher, a front loading washing machine and no bath or sink grinder.

The owners have just bought the property and advise that in the short term the system will be connected to temporary accommodation.

Although there is a water bore on the property, this will be used for watering the garden and will not be connected to the dwelling.

Site description

The property is small (374m² in size) and is located on the waterfront at Oturu Bay. There is a low (less than 1m high) retaining wall bordering the foreshore which is inside the seaward boundary. The top of the wall is approximately 1m above mean high water springs (MHWS). From the top of the wall, the land slopes gently uphill to within 5m of the rear of the property before sloping down to the right-of-way access. The high point on the property is approximately 2.3m above MHWS.

There are three existing 'batch' type buildings on the property. One of them contains a long drop toilet.

A water bore is located at the western corner. The owners advise that there is a water bore on the neighbouring property to the north (greater than 20m away) ✓ and no water bore on the property located immediately to the south.

There is an open drain located approximately 7m from the boundary at the western end of the property.

Soil conditions

A hand augured borehole was dug to assess soil conditions. The location of the borehole is shown on the attached plan and the borelog is attached to this report.

The soil consisted of slightly gravelly beach sand near the surface and mainly beach sand below 600mm. The groundwater level was measured at 2.3m at low tide and at 2.1m at high tide (a spring tide).

Previous Resource Consents

There is an existing resource consent for the discharge of effluent for a proposed dwelling. This consent (NRC reference CON20020973301) was issued in 2002 and expires in August 2012. The consent was for the discharge of secondary treated effluent discharged using drippers to an easement on a neighbouring property for this purpose located on the western side of the right-of-way. The system was never put in and we understand that the building consent lapsed. We also understand that about the same time the owner of Lot 7 DP 212250 (Callahan) also applied for and obtained consent to discharge effluent to the easement area. The area available has been almost entirely used up by this owner as it is significantly undersized for the six lots that have rights to it.

The owners have currently no available legal alternative but to discharge effluent on their land.

System best suited to the Site

The small size of the property and the proximity of a sensitive receiving environment (the beach/sea) restrict the options for on-site effluent treatment to a high level of pre-treatment. The system will require primary and secondary treatment, capable of handling intermittent loading. Discharge to ground by can be by beds or trenches.

This system will require a resource consent form the Regional Council as it does not meet the permitted activity (PA) rules of the Northland Regional Water and Soil Plan (secondary treated effluent can only be discharged to ground via dripper irrigation to comply with the PA rules).





Assessment of Environmental Effects

The potential effects of discharging treated effluent to ground on the property are:

- Pollution of the groundwater. The groundwater table was measured at 2.1m depth when the tide was in. Groundwater flow is west to east, down the catchment and into the sea as groundwater seepage was observed on the beach at the low tide level. Therefore, potential contamination of groundwater is likely to appear at the shore.
- Pollution of the owners water bore and the bore on the property to the north. A level of protection of the owners bore is provided as the bore is 5.5m deep and is cased to 3.5m. The neighbours bore is at least 20m away from the proposed disposal area which meets the PA rules. The owners advise that the previous owners of the subject property used the bore for drinking and there had been no apparent sickness attributed to it. We have been advised by the owners that tests on the bore in July 2009 showed no trace of faecal coliforms.
- Intermittent or short term loading (holiday periods).
- Very little reserve area available.

Mitigation Measures Proposed

- A high level of pre-treatment by installing a primary and secondary treatment plant with a textile filter capable of treating effluent to advanced secondary treatment levels under intermittent loading ($TSS < 20 \text{ g/m}^3$, $BOD_5 < 20 \text{ g/m}^3$, $Tot N < 20 \text{ g/m}^3$).
- There will be a low risk of surface runoff of effluent runoff as the discharge will be below ground level to a bed. There is at least 1.5m of unsaturated sand to provide significant in-ground treatment before the treated effluent will reach the groundwater. The literature (On-Site NEWZ Special Report 97/2 titled 'On-site Wastewater Systems and Bacterial Reduction in Sub-soil Disposal Areas – a review') by Ian Gunn suggests that if high application rates ($> 50 \text{ mm/day}$) were avoided (of primary treated effluent) a 900mm depth of unsaturated sand was effective in the removal of pathogens and bacteria. The system proposed coupled with the depth of unsaturated soil and low application rate should achieve a significantly higher level of treatment than what was observed during the study.
- Discharging effluent at a conservative loading rate of 35mm/day instead of 50mm/day – maximum recommended. This loading rate is in lieu of a reserve area as contamination of the ground with solids is unlikely using the system proposed and there is a significant benefit from applying the



effluent at a low application rate with respect to potential faecal contamination.

- The treatment system has alarms and emergency storage, should there be a power or pump failure.
- The system will require an on-going maintenance program.
- There is an existing long drop on the property which will be abandoned. This system would have provided a far lower level of protection than the system proposed, except that it is located slightly further down the catchment where any potential contamination would have been carried away from the bore by the groundwater flow and would have only been a threat if the bore draw off exceeded the groundwater flow towards the beach.

Design (based on AS/NZS 1547:2000)

Number of bedrooms	3
Maximum number of people	5
Flow Allowance (Appendix 4.2D)	180 litres/person/day
Long term acceptance rate	35mm/day
Application Area required	$180 \times 5 \div 35 = 26\text{m}^2$
Reserve area	Nil

Conclusions and Recommendations

It is our opinion that the effects of the proposed system will be a significant improvement compared to the present system and it is the best practical option under the circumstances. We recommend that the limitations of the disposal system are clearly stated in the property file at the Whangarei District Council, so that future owners are clearly warned of the limitations of the system which are:

- Maximum daily effluent volume – 900 litres per day
- No bore water or reticulated water supply

We recommend that a water meter is installed on the water supply to the dwelling and records kept by the owner of the water usage at monthly intervals throughout the year and weekly intervals over Christmas to the end of January.

Design Summary and Recommendations

1. Install primary and secondary treatment system complete with a re-circulating textile filter capable of treating effluent to advanced secondary treatment levels under intermittent loading.
2. Construct a bed 26m^2 in size as shown on the attached plan.





3. The Regional Water and Soil Plan permitted activities, section 15.1 4(l) requires a programmed maintenance contract for the treatment and disposal system be entered into with the supplier or other approved person.
4. The owners and future owners should also follow the enclosed operation and maintenance schedule.

Limitation

This report has been prepared solely for the benefit of our client W & W Bennett and the Whangarei District Council in relation to the building consent and resource consent application for which this report has been prepared. The comments in it are limited to the purpose stated in this report. No liability is accepted by Hawthorn Geddes engineers & architects ltd in respect of its use by any other person, and any other person who relies upon any matter contained in this report does so entirely at their own risk.



Dean Botica
Hawthorn Geddes
engineers & architects ltd

Report prepared by: Rostyn Lomax

Encl: Borelogs (1 page x A4)
Site Plan (1 page x A3)
Operation and Maintenance Schedule (2 pages x A4)





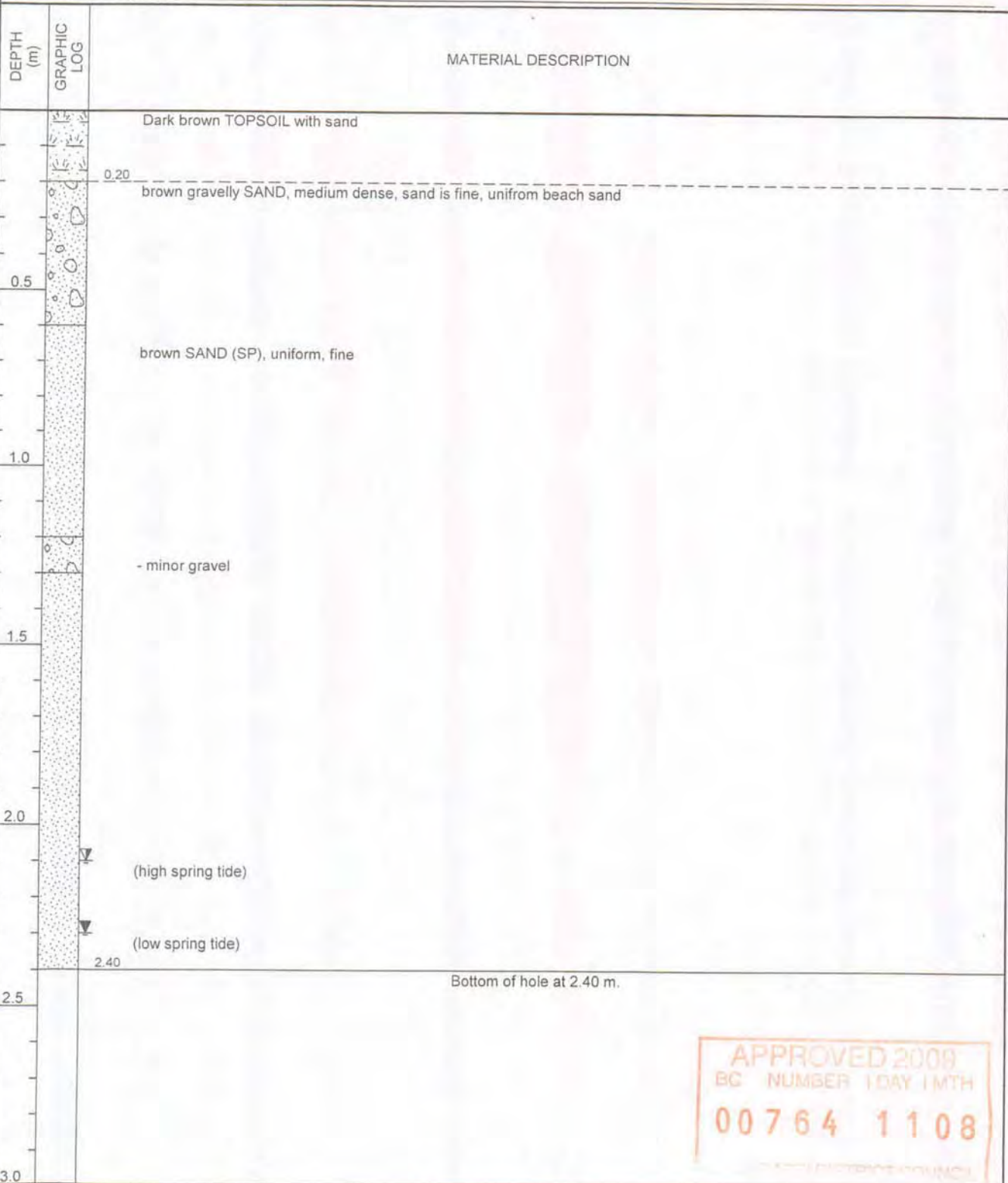
LOG OF HAND AUGER

HA 1

Hawthorn Geddes Engineers and Architects
7 Selwyn Avenue Whangarei, 0101, Telephone: 09 4387139, Fax: 09 4300711

PAGE 1 OF 1

CLIENT <u>Bennett</u>	PROJECT <u>Proposed effluent field</u>
PROJECT NUMBER <u>7533</u>	PROJECT LOCATION <u>Oturu Bay</u>
DATE <u>1/7/09</u>	COMPLETED <u>1/7/09</u>
GROUND WATER LEVELS: AT TIME OF DRILLING <u>None</u>	
DRILLING METHOD <u>50mm Hand Auger</u>	AT END OF DRILLING <u>2.30 m</u> ▼
LOGGED BY <u>RL</u>	30hrs AFTER DRILLING <u>2.10 m</u> ▼
HOLE LOCATION <u>Lawn</u>	



7533

**TO THE OWNER
ON-SITE EFFLUENT DISPOSAL
OPERATION AND MAINTENANCE SCHEDULE**

Lot No. 2

DP: 194554

The purpose of this document is to alert the owner of the property to essential information relating to the operation and maintenance of on-site effluent disposal system for the dwelling on this property. The information is presented under the following headings:

1. The limit of design.
2. Do's and don'ts.
3. Guidance on how not to exceed the maximum amount of water usage.
4. Operation and maintenance (recommendations).
5. Operation and maintenance (requirements).
6. Recommended reading.

1. THE LIMIT OF DESIGN

It is important for the owner to understand that the design of the system is based on assumptions of potential occupancy and the amount of water consumption. Factors that affect the design flow are the number of occupants, the type of water supply and the type and number of water consuming appliances that are contained in the dwelling. These assumptions are used to arrive at a theoretical maximum wastewater usage for the dwelling which is based on previous studies.

This system has been designed for a maximum occupancy of five people, fed from a water supply using roof water only. The system has not been designed for the use of extra wastewater producing appliances such as dishwasher.

The maximum theoretical wastewater use for this dwelling is 900 litres per day. Exceeding this water usage could overload the soakage field and damage it.

2. DO'S AND DON'TS

- (a) Do not install a garbage grinder.
- (b) Use cleaners, disinfectants and bleaches sparingly. The cleaners must be biodegradable.
- (c) Do not put any paper (other than toilet paper) or clothing items down the system.
- (d) Remove excess fat, oil and vegetable matter from cooking utensils prior to washing in the sink.

Selwyn Avenue
P O Box 575 Whangarei
Telephone 09 438 7139 Fax 09-430 0711
email - hg@hgcs.co.nz

Document No. HGCSFC
Revision B

Date

09/11/99

Prepared by

PH

Approved by

PH





- (e) Do not dispose of antibiotics into the system.

3. **RECOMMENDATIONS (NOT REQUIREMENTS) ON HOW TO REDUCE WATER USAGE**

- (a) Install water reduction facilities e.g. dual flush, low volume cisterns, low volume tap and shower heads and front loading washing machines.
- (b) Try not to exceed one single full load of washing per day (or an equivalent volume of multiple washes (check your appliance specifications).
- (c) Make sure there are never any dripping or leaking taps or cisterns.
- (d) Never allow storm water run off to enter gully traps. Gully traps must be above ground level.

4. **REQUIREMENTS ON HOW TO REDUCE WATER USAGE**

NIL

5. **OPERATION AND MAINTENANCE**

Package Plant Systems

It is a permitted activity rule under Northland Regional Council's Soil and Water Plan that the owners of a secondary treatment system enter into an ongoing maintenance contract.

Operate and maintain the system in accordance with the supplier's recommendations.

It is vitally important that surface water does not enter the treatment device. Therefore surface water should not be allowed to pond around the treatment device and lids should be sealed to prevent leakage of surface water into the device.

The tank lids or access to them should be at or slightly above the ground surface.

The owner is to install a water meter on the water supply to the dwelling and records are to be kept by the owner of the water usage at monthly intervals throughout the year and weekly intervals over Christmas to the end of January.

6. **RECOMMENDED READING**

"Looking after your... SEPTIC TANK" available from the Northland Regional Council.





DEC



WHANGAREI
DISTRICT COUNCIL

Code Compliance Certificate BC0900764
Section 95, Building Act 2004
Issued: 14 December 2009

The Building

Street Address of building:	25 F Tutukaka Block Road Whangarei 0173
Legal Description of land where building is located:	LOT 2 DP 194554 LLP 101227
Building name:	N/A
Location of building within site/block number:	N/A
Level unit number:	N/A
Current, lawfully established use:	N/A
Year first constructed:	1950

The Owner

W M Bennett
W L Riley-Bennett
PO Box 402038
Tutukaka 0153

Phone number:	09 434 4285
Mobile number:	021 733 186
Facsimile number:	N/A
Email address:	wendy.bennett@xtra.co.nz
Website:	N/A

First point of contact for communications with the building consent authority:

Contact Person

Beazley Design Limited
PO Box 7002
Tikipunga
Whangarei 0144

Phone number:	09 438 3277
Mobile number:	N/A
Facsimile number:	09 438 3255
Email address:	gary@beazleydesign.co.nz
Website:	N/A

Street address/registered office:	25 F Tutukaka Block Road Whangarei 0173
-----------------------------------	--

*Creating the ultimate
living environment*

Forum North, Private Bag 9023
Whangarei, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

Building Work**Alterations to Existing Dwelling -
Ensuite
New Effluent System**

Building Consent number

BC0900764

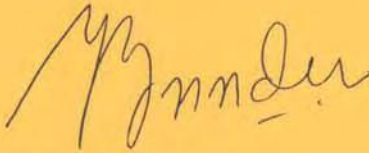
Issued by:

Whangarei District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

(a) The building work complies with the building consent.



SignatureSupport Assistant – Code Compliance
Position

On behalf of: Whangarei District Council

14 December 2009

Code Compliance Certificate BC0900764

BUILDING CONSENT No: BC1001127
Section 51, Building Act 2004



WHANGAREI
DISTRICT COUNCIL

Issued: 23 September 2010
Project Information Memorandum No: PM1000780

The Building

Street address of building:	25 F Tutukaka Block Road Whangarei 0173
Legal description of land where building is located:	LOT 2 DP 194554 LLP: 194554
Building name:	N/A
Location of building within site/block number:	N/A
Level/unit number:	N/A

First point of contact for communications with council/building consent authority

The Owner

W M Bennett,
W L Riley-Bennett
PO Box 402038
Tutukaka 0153

Phone number:	N/A
Mobile number:	021830626
Facsimile number:	N/A
Email address:	N/A
Website:	N/A

Street address/registered office:	25 F Tutukaka Block Road Whangarei 0173
-----------------------------------	--

Building Work

The following building work is authorised by this consent:

New Deck and Water tank

*Creating the ultimate
living environment*

Forum North, Private Bag 9023
Whangarei 0148, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Section 90 Building Act 2004

Under section 90 of the Building Act 2004, agents authorised by the Council (acting as a Building Consent Authority) are entitled, at all times during normal working hours or while building work is being done, to inspect-

- ii) land on which building work is being or is proposed to be carried out; and
- iii) building work that has been or is being carried out on or off that building site; and
- liii) any building

See attached list of required inspections.

Compliance Schedule

A compliance schedule is not required for the building.

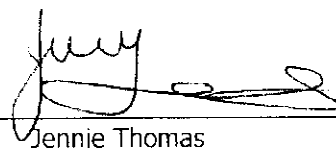
Attachments

The Project Information Memorandum for the building work covered by this building consent.
A notice of development contribution levies payable.

Additional Information

1. Dust Nuisance
The applicant must control dust nuisance created by any site or building works.
2. Toilet Facilities
Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.

Signature



Jennie Thomas

Support Assistant – Building Consent Issuing
Position

On behalf of: Whangarei District Council

23 September 2010



SEP 2010

See sht C04 for drainage
and pile layout

Proposed Deck
Proposed Deck
area 68.67 m²

Neighbouring House

Proposed Watertank
area 28.16 m²

Standard manhole cover for
watertank access hatch
Proposed Watertank (buried below ground)
6m x 4m x 1.2m = 28.8m³
28800 Litres Tank Volume

Lot 2
DP 194554
374 m²

Existing Bach
F.F.I. 2.66m
11.96 m²

Out Building

Bearer bolted
to side of tank

Temporary support of
existing outer foundations
required during construction

Sleepout

Existing Out Building
area 5.4 m²

Existing Sleepout
area 9.6 m²

Neighbouring House

Neighbouring House

R.O.W. Section
to Tutukaka Block Road

SITE PLAN

SCALE - 1:200

NOTE:

SITE INFORMATION ADAPTED FROM SURVEY DRAWING
PROVIDED BY THE BOUNDARY HUNTER LTD
REFERENCE 2035;

ALL INFORMATION MUST BE CONFIRMED ON SITE,
TO BE READ IN CONJUNCTION WITH HAWTHORN
GEDDES REPORT REFERENCE: 7533 DATED
SEPTEMBER 2010

snake Detector

Hawthorn Geddes
engineers & architects ltd



7 Selwyn Avenue
Whangarei 0110
P.O. Box 575
Whangarei 0140

Phone: 09 438 7139
Fax: 09 430 0711
email: hg@hgw.co.nz
Web: hawthorngeddes.co.nz



CLIENT

WENDY BENNETT

PROJECT

PROPOSED DECK AND WATER TANK**25F TUTUKAKA BLOCK ROAD**

DRAWING

LOCATION PLAN

B2 ISSUED FOR BUILDING CONSENT

B1 ISSUED WITH REPORT

REV. REVISION DETAILS

JLB 09/09/10

JLB 12/08/10

BY DATE

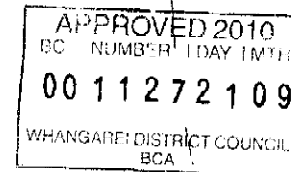
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AND MAY HAVE BEEN PHOTO-REDUCED

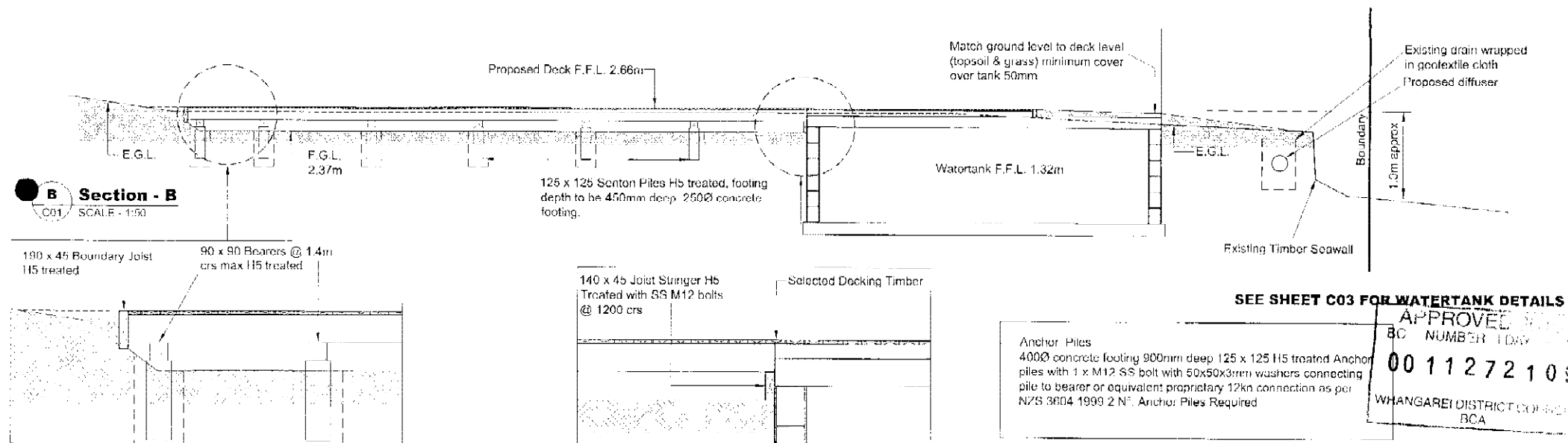
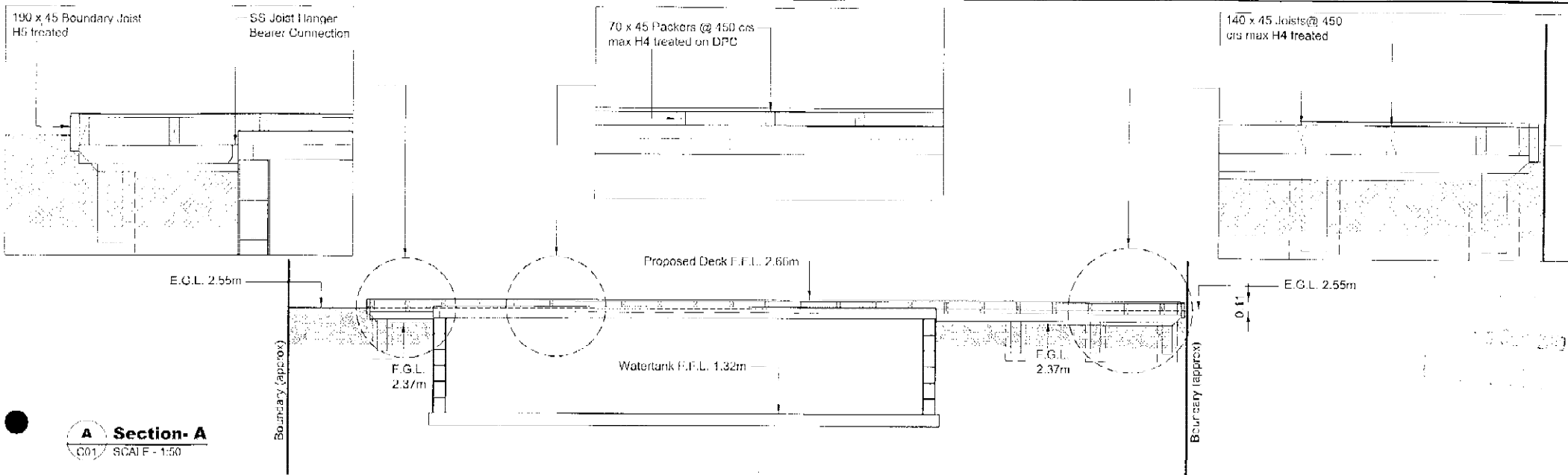
SCALE: AS SHOWN

PROJECT NO.
7533-1

SHEET
C01

REV.
B2





NOTE:
SITE INFORMATION ADAPTED FROM SURVEY DRAWING PROVIDED BY THE BOUNDARY HUNTER LTD REFERENCE 2635;
ALL INFORMATION MUST BE CONFIRMED ON SITE;
TO BE READ IN CONJUNCTION WITH HAWTHORN GEDDES REPORT REFERENCE 7533 DATED SEPTEMBER 2010

Hawthorn Geddes
engineers & architects ltd

7 Selwyn Avenue
Whangarei 01110
PO Box 575
Whangarei 0140

Phone 09 438 7139
Fax 09 438 0711
Email hg@hgw.co.nz
Web hawthorngeddes.co.nz



CLIENT WENDY BENNETT
PROJECT PROPOSED DECK AND WATER TANK
25F TUTUKAKA BLOCK ROAD
DRAWING SECTIONS THROUGH DECK AND TANK

NO	ISSUED FOR BUILDING CONSENT	JLB	08/09/10
R1	ISSUED WITH REPORT	JLB	12/09/10
REV	REVISION DETAILS	BY	DATE

THIS DRAWING WAS PRODUCED BY COMPUTER AIDED DRAUGHTING. IT SHOULD NOT BE AMENDED MANUALLY AND MAY HAVE BEEN PHOTOCOPYED.

PROJECT NO. 7533-1
DATE 9 AUG 2010
BY JLB
CHECKED JLB
APPROVED [Signature]
3rd E C02
REV B2

Note: To be viewed in conjunction with
Site plan sht C01 for tank location



Hawthorn Geddes
engineers & architects ltd

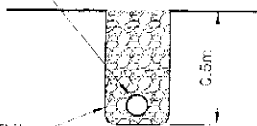
CLIENT	WENDY BENNETT
PROJECT	PROPOSED DECK AND WATER TANK 25F TUTUKAKA BLOCK ROAD
DRAWING	BURIED WATERTANK DETAILS



THIS DRAWING WAS PRODUCED BY COMPUTER AIDED DRAUGHTING. IT SHOULD NOT BE AMENDED MANUALLY AND MAY HAVE A TERN PHOTO-REDUCED		SCALE: AS SHOWN AS SHOWN
DRAWN: JLB 9 AUG 2010 CHECKED: JLB 17 JUL 2010 APPROVED: PETER GEDDIS		PROJECT NO: 7533-1
D7 ISSUED FOR BUILDING CONSENT JLB 06 SEP 10	JLB 06 SEP 10 BY DATE	SHEET C03
REV. REVISION DETAILS		REV. B2



100mm Diameter
slotted draincoil
with filter sock



7N7 F2 or PAP 7
Filler gravel

Note: minimum fall 1:50

Sub-Surface Drain Section

SCALE - NTS

Beaters @ 1.4m c/s Max

Boundary

Proposed Buried Watertank

Existing House

Watertank overflow to
connect to sub-surface drain

Sub-surface drain
discharged via diffuser

Section Piles 1.3m c/s Max

Construct diffuser inside the
geotextile wrapped drain
behind the existing retaining wall.
Diffuser to be 3m long
with 10mm Ø Holes at
300mm c/s

110Ø uPVC
Stormwater pipe



10mm holes @ 3
o'clock and 9 o'clock

Diffuser detail

SCALE - NTS

Push on end caps

Existing retaining wall

Location Plan

SCALE - 1:50

NOTE:
SITE INFORMATION ADAPTED FROM SURVEY DRAWING
PROVIDED BY THE BOUNDARY HUNTER LTD
REFERENCE 2635.
ALL INFORMATION MUST BE CONFIRMED ON SITE.
TO BE READ IN CONJUNCTION WITH HAWTHORN
GEDDES REPORT REFERENCE: /533 DATED
SEPTEMBER 2010

Hawthorn Geddes
engineers & architects ltd



7 Selwyn Avenue
Whangarei 0110
PO Box 575
Whangarei 0140

Phone: 09 438 7139
Fax: 09 430 0711
email: hgeddes@hgeddes.co.nz
Web: hawthorngeddes.co.nz

CLIENT **WENDY BENNETT**
PROJECT **PROPOSED DECK AND WATER TANK**
25F TUTUKAKA BLOCK ROAD
DRAWING **PILE AND DRAINAGE LOCATION PLAN**

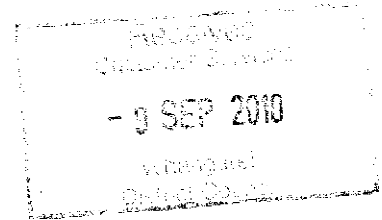
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WHANGAREI DISTRICT BCA		PROJECT No. 7533-1		
DATE: 15 AUG 2010		DRAWN BY: PETER GEORGE		
CHECKED BY: PETER GEORGE		SIGNATURE: PETER GEORGE		
REV: 01		DATE: 15 AUG 2010		
REV: 02		DATE: 15 AUG 2010		
REV: 03		DATE: 15 AUG 2010		
REV: 04		DATE: 15 AUG 2010		
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REV: 99		DATE: 15 AUG 2010		
REV: 100		DATE: 15 AUG 2010		



In reply please quote: 7533

03 September 2010

Wendy Bennett
PO BOX 402038
Tutukaka 0153



POTENTIAL INSTABILITY
25F TUTUKAKA BLOCK ROAD
PIM 1000780

The purpose of this letter is to address the potential instability and erosion hazard on the above property for a building consent application.

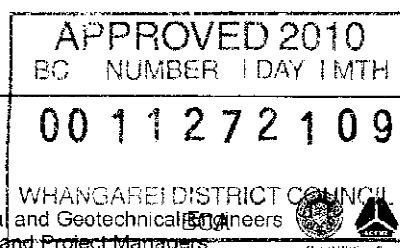
A Project Information Memorandum (PIM) has been issued for the proposal which requires the instability hazard to be addressed in terms of the Building Act 2004. There is a high instability hazard designation on the Whangarei District Council (WDC) hazard maps which covers the eastern third of the property. There is no coastal erosion hazard shown.

The proposal is to build a buried water tank which will be partly covered with a deck, located in a high instability hazard designation on the WDC Hazard Maps. The proposal is shown on the attached plans prepared by Hawthorn Geddes engineers and architects ltd reference 7533-1, dated August 2010.

The eastern boundary of the property borders the beach at Oturu Bay. The eastern boundary is approximately 0.5m above Mean High Water Springs (MHWS) and is protected by a pole retaining seawall approximately 1m high with rock revetment made up of large, up to 1m diameter rocks on the seaward side. This wall is continuous onto adjacent properties. The slope on the beach is approximately 1 in 12 in front of the property and is protected from significant ocean swell by a narrow harbour entrance and an island/ reef. We are advised that the beach level can vary by up to 1m vertically.

Hawthorn Geddes engineers and architects ltd were involved with the design of a replacement seawall inside the eastern boundary. The owner took photos during construction and these were provided to us.

The new wall was constructed with cloth behind it and a rock revetment was placed in front of the wall to reduce the risk of future wave action affecting the wall as the beach profile changed.



The replacement seawall was designed to protect the property from instability or coastal erosion. Therefore provided the wall and rock revetment is maintained, the proposed building work is adequately protected from erosion and instability and in terms of the Building Act 2004, it is our opinion that:

- (a) The land on which the building work is to be carried out is not subject or is not likely to be subject to instability or erosion
- (b) The building work not is likely to accelerate, worsen or result in instability or erosion on that land or any other property.

Limitation

This letter has been prepared solely for the benefit of our client Wendy Bennett and the Whangarei District Council in relation to the building consent application for which this letter has been prepared. The comments in it are limited to the purpose stated in this letter. No liability is accepted by Hawthorn Geddes engineers & architects ltd in respect of its use by any other person, and any other person who relies upon any matter contained in this letter does so entirely at their own risk.

Yours faithfully,



Dean Botica
Hawthorn Geddes
engineers & architects ltd

Letter prepared by: Rostyn Lomax

Box 551



WHANGAREI
DISTRICT COUNCIL

Forum North, Private Bag 9023
Whangarei 0148, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

Code Compliance Certificate BC1001127
Section 95, Building Act 2004
Issued: 08 February 2011

The Building

Street Address of building:	25 F Tutukaka Block Road Whangarei 0173
Legal Description of land where building is located:	LOT 2 DP 194554 LLP 101227
Building name:	N/A
Location of building within site/block number:	N/A
Level unit number:	N/A
Current, lawfully established use:	N/A
Year first constructed:	N/A

The Owner

W M Bennett
W L Riley-Bennett
PO Box 402038
Tutukaka 0153

Phone number:	4344285
Mobile number:	021830626
Facsimile number:	N/A
Email address:	N/A
Website:	N/A

First point of contact for communications with the building consent authority:

Contact Person

W L Riley-Bennett
PO Box 402038
Tutukaka 0153

Phone number:	4344285
Mobile number:	021830626
Facsimile number:	N/A
Email address:	N/A
Website:	N/A

Street address/registered office:	25 F Tutukaka Block Road Whangarei 0173
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Building Work**New Deck and Water tank**

Building Consent number

BC1001127

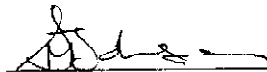
Issued by:

Whangarei District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

(a) The building work complies with the building consent.



Signature

Support Assistant – Code Compliance

Position

On behalf of: Whangarei District Council

08 February 2011

Code Compliance Certificate BC1001127

1100950..



WHANGAREI
DISTRICT COUNCIL

Building Consent No: BC1100950
Section 51, Building Act 2004

Issued: 25 November 2011
Project Assessment No: PA1100325

Forum North, Private Bag 9023
Whangarei 0148, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

The Building

Street address of building:	25 F Tutukaka Block Road Whangarei 0173
Legal description of land where building is located:	LOT 2 DP 194554 LLP: 101227
Building name:	N/A
Location of building within site/block number:	N/A
Level/unit number:	N/A

The Owner

W L Riley-Bennett
W M Bennett
PO Box 402038
Tutukaka 0153

Phone number:	4344285
Mobile number:	021733186
Facsimile number:	N/A
Email address:	wendy@nonstopgrowth.co.nz
Website:	N/A

Street address/registered office:	25 F Tutukaka Block Road Whangarei 0173
-----------------------------------	--

First point of contact for communications with council/building consent authority

Contact Person

W L Riley-Bennett
PO Box 402038
Tutukaka 0153

Phone number:	4344285
Mobile number:	021733186
Facsimile number:	N/A
Email address:	wendy@nonstopgrowth.co.nz
Website:	N/A

Building Work

The following building work is authorised by this consent:

New Sleepout and Utility Room

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

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This building consent is subject to the following conditions:

Section 90 Building Act 2004

Under section 90 of the Building Act 2004, agents authorised by the Council (acting as a Building Consent Authority) are entitled, at all times during normal working hours or while building work is being done, to inspect-

- ii) land on which building work is being or is proposed to be carried out; and
- iii) building work that has been or is being carried out on or off that building site; and
- iii) any building

- 1. See attached list of required inspections.
- 2. A copy of your Electrical Certificate will be required.
- 3. A copy of your Gas Certificate will be required.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

No attachments.

Additional Information

- 1. Dust Nuisance
The applicant must control dust nuisance created by any site or building works.
- 2. Toilet Facilities
Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.



Kayla Maxwell
Support Assistant – Building Consent Issuing

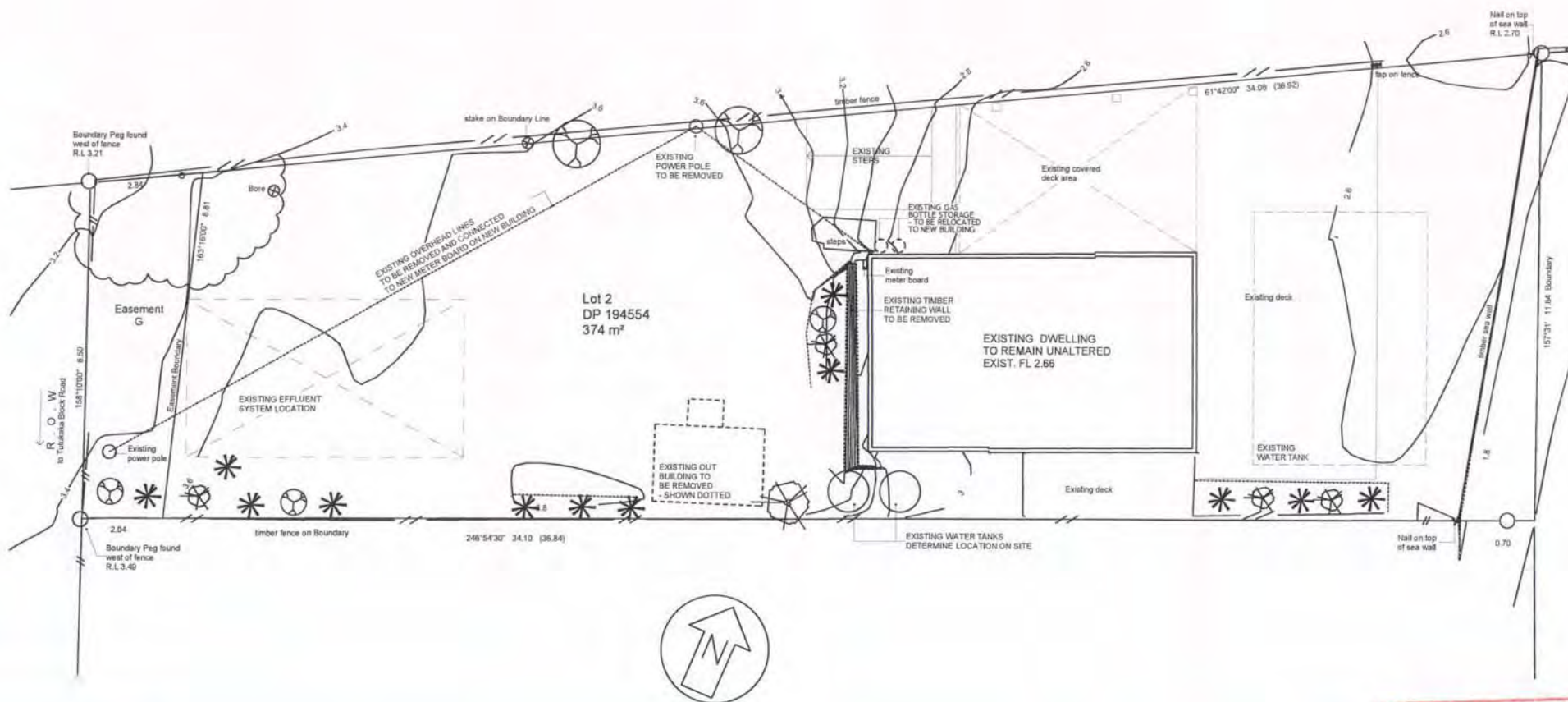
On behalf of: Whangarei District Council

25 November 2011

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15 NOV 2011

WHANGAREI DISTRICT COUNCIL
BUILDING CONTROL



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BCA

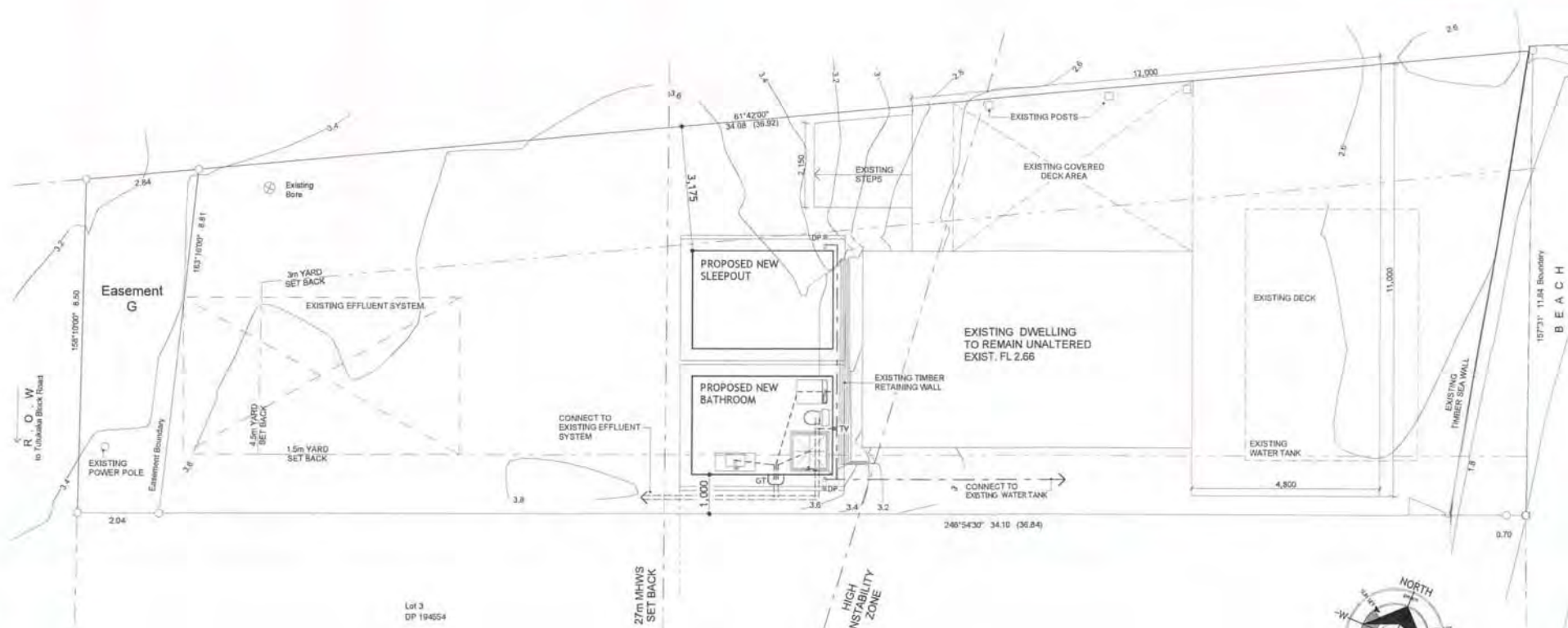
Date: 14 NOV 2011 Revision: DRAWING WD-D Client No.: C 113	Drawing: EXISTING SITE PLAN SCALE 1:100@A3	Client: W & W BENNETT LOT 2 DP 194554 TUTUKAKA BLOCK ROAD WHANGAREI	Sheet: 2 9.
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14 NOV 2011

WHANGAREI DISTRICT COUNCIL



LOT 2 DP 194554 SITE: 374m²

WIND ZONE	VERY HIGH
CORROSION ZONE	SEA SPRAY
EXISTING DWELLING	42.00m ² AFFRICK
EXISTING COVERED DECK AREA	24.68m ² AFFRICK
EXISTING DECK AREA	80.00m ² AFFRICK
PROPOSED NEW SLEEPOUT	9.00m ²
PROPOSED NEW BATHROOM	9.00m ²
TOTAL SITE COVERAGE	84.68m ²
SITE COVERAGE	22.64% (25% MAX)

LOCATION AND ORIENTATION OF PROPOSED BUILDING TO BE CONFIRMED ON SITE WITH OWNER AND LOCATION OF SERVICES TO BE LOCATED BY BUILDING CONTRACTOR BEFORE COMMENCING CONSTRUCTION.

RAINWATER COLLECTION
Install the entire roofing system using only products suitable for supplying water to a storage facility, which will supply potable water to the dwelling after appropriate treatment.

FIXTURES DISCHARGING TO GULLY TRAPS	DISCHARGE PIPE SIZE	GRADE
BASIN	400 UPVC	1:40
SHOWER	400 UPVC	1:40
LAUNDRY TUB + WM	500 UPVC	1:40
FIXTURES DISCHARGING TO VENTED DRAIN UNDER SLAB	DISCHARGE PIPE SIZE	GRADE
WATER CLOSET	1000 UPVC	1:60
VENT SIZES	PIPE SIZE	GRADE
TERMINAL VENT	800 UPVC	N/A
SANITARY DRAINAGE	PIPE SIZE	GRADE
SEWERAGE LINES	1000 UPVC	1:60
STORMWATER DRAINAGE	PIPE SIZE	GRADE
STORMWATER LINES	1000 UPVC	1:60
DOWNPIPES	800 UPVC	N/A

PLUMBING AND DRAINAGE TO NZBC G13/A5.1. PIPE SIZES, GRADES, AND LAYOUT TO BE CONFIRMED BY A REGISTERED PLUMBER/DRAINLAYER.

PLUMBER:
GENERAL
The whole of the work shall be carried out in strict accordance with the drawings and as required to comply with the N.Z. Building Code. The work is to be carried out by a registered plumber.

WATER SUPPLY
Lay on cold water supply from the main and provide and fix stopcock in suitable position.
All piping in connection with the cold water supply within the building shall be "Rihaui" piping and accessories installed and connected strictly as recommended by the manufacturer.
All sanitary fittings shall be installed to prevent backflow into the water supply by providing an air gap of 25 mm minimum between every potable water supply outlet and the overflow pipe or flood level of the fixture to which it discharges.

HOT WATER SUPPLY
All piping in connection with the hot water supply shall be "Rihaui" piping and accessories installed and connected strictly as recommended by the manufacturer. Provide and install a water heating unit in accordance with the manufacturer's specifications complete with all valves. The thermostat is to be set not less than 40 degrees and is to deliver hot water at a maximum of 55 degrees to fittings, and a tempering valve is to be fitted to achieve this.

WASTE PIPES
Piping and joints are to be as sized in the drawings and manufactured out of U.P.V.C. Suspended pipes are to be supported at 500 mm centres. At supports and at floor and wall penetrations fit pipe sleeves or flexible lagging.
All fittings are to have a water trap or other suitable system to prevent foul air from entering the building. The depth of the trap shall be not less than 40 mm and located as close as possible to the fitting.



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BCA

Date: 14 NOV 2011 Revision: DRAWING WD-D Client No.: C113	3 2 1 4	Drawing: SITE & DRAINAGE PLAN SCALE 1:100@A3	Client: W & W BENNETT LOT 2 DP 194554 TUTUKAKA BLOCK ROAD WHANGAREI	Sheet: 3 9.
---	------------------	---	--	----------------

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SYMBOL	TYPE	SIZE	FOOTING
OP	ALL FOOTINGS 600mm MIN. INTO GOOD GROUND		
AP	ORDINARY PILE	2.0m HIGH max.	300sq. x 200d
	ANCHOR PILE	600mm HIGH max.	400sq. x 900d

SUB-FLOOR BRACING

WALL ALONG: 3.6m
WALL ACROSS: 2.5m
FLOOR AREA: 9.0m²

EARTHQUAKE BU's

CLADDING: LIGHT/LIGHT/LIGHT
ROOF PITCH: 3
EQ ZONE: 3

BU's PER m² OF FLOOR AREA REQUIRED = 4.7

9.0 x 4.7 = 42.3EQ BU's REQUIRED

WIND BRACING ALONG

WIND ZONE: VERY HIGH
HEIGHT TO APEX: 4m
ROOF HEIGHT: 1m

BU's REQUIRED ALONG: 111 BU's/m

2.5 x 111 = 277.5 WIND BU's REQUIRED ALONG

BRACELINE	BRACE TYPE	WIND	EARTHQUAKE	No OF
A	ANCHOR PILES	160BU	120BU	2
B	ANCHOR PILES	160BU	120BU	1
TOTAL ACHIEVED BU's		480BU's	360BU's	
TOTAL REQUIRED BU's		277.5 BU's	42.3BU's	

WIND BRACING ACROSS

WIND ZONE: VERY HIGH
HEIGHT TO APEX: 4m
ROOF HEIGHT: 1m

BU's REQUIRED ACROSS: 93 BU's/m

3.6 x 93 = 334.8 WIND BU's REQUIRED ACROSS

BRACELINE	BRACE TYPE	WIND	EARTHQUAKE	No OF
M	ANCHOR PILES	160BU	120BU	1
N	ANCHOR PILES	160BU	120BU	2
TOTAL ACHIEVED BU's		480BU's	360BU's	
TOTAL REQUIRED BU's		334.8BU's	47.3BU's	

SUB-FLOOR FRAMING

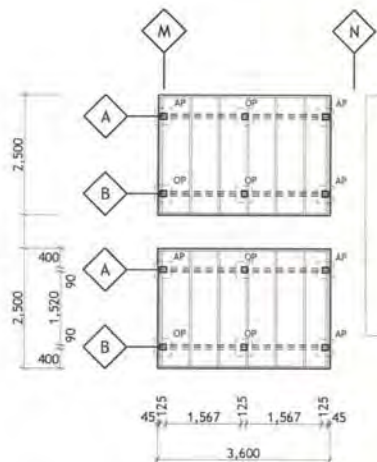
PILES: H5 125sq. @ 2,000c/s max.

BEARERS: H4 140x45 SGB

JOISTS: H4 140x45 SGB @ 600c/s max.

FLOORING: 25mm XOPINE ULTRALOCK GLUE AND SCREW FIXED FLOORING

ALL SUB-FLOOR FIXINGS TYPE 304 STAINLESS STEEL
REFER SECTION 4 TABLE 4.1
NZS 3604:1999

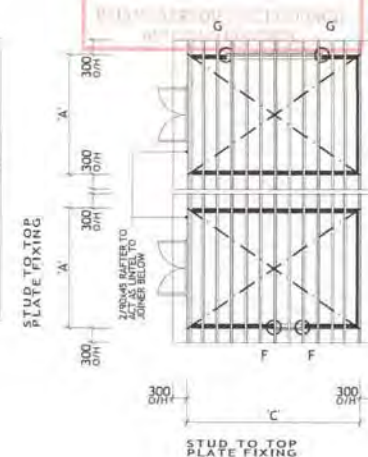


FOUNDATION PLAN
SCALE 1:100@A3

KEY



ROOF FRAMING PLAN
SCALE 1:100@A3

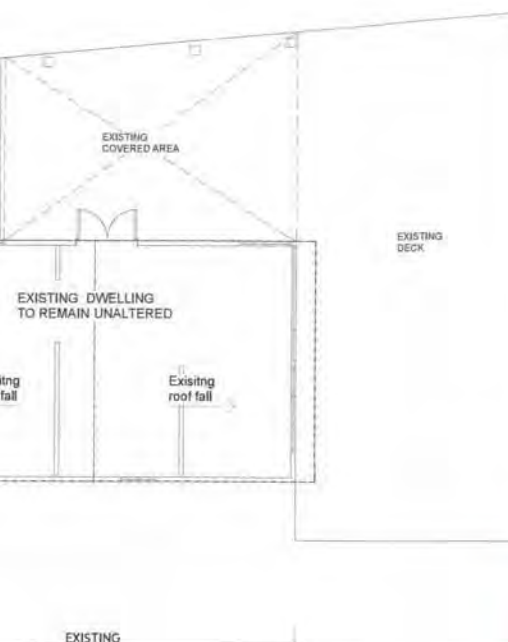


TOTAL AREA OVER FRAME	
SLEEP OUT AREA:	9m ²
BATHROOM AREA:	9m ²
STUD SPACING AND SIZE	
EXTERIOR FRAMING	
STUDS UP TO 2.4m - AT 400c/s	
90x45 SGB H1.2 WITH H3.1 BOTTOM PLATE AND 90x45 SGB H1.2 NOGS	
90x45 SGB H1.2 EXTRA TOP PLATE	
NOTES	
BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION	
BEAM/LINTEL SIZES AND WALL FRAMING/STUDS CALCULATED TO NZS3604:1999 SGB/SGB GRADE	
ALL GLAZING TO COMPLY WITH NZS 4213 INCLUDING SAFETY GLASS TO SHOWER DOORS	
SINGLE GLAZING TO ALL EXTERIOR JOINERY	
PARTICLEBOARD IS TO BE SEALED WITH 3 COATS OF POLYURETHANE	
INSULATION	
R2.2 WALL BATTS	
R2.2 CEILING BATTY	
R1.8 UNDER FLOOR - EXPOS. BLACK POLYSTYRENE RIGID EPS INSULATION	
WALL & CEILING LININGS	
SLEEPOUT:	
10mm GIB STANDARD PLASTER BOARD	
BATHROOM:	
10mm GIB AQUALINE BEHIND SHOWER AND TO CEILING	
10mm GIB STANDARD PLASTER BOARD TO REMAINDER	

LINE OF DECK LEVEL WITH PFI & PGL PROVIDE TO BOUNDARY JOINTS AGAINST EARTH FACE



FLOOR PLAN
SCALE 1:100@A3



Date: 17 NOV 2011
Revision: DRAWING WD-E
Client No.: C113



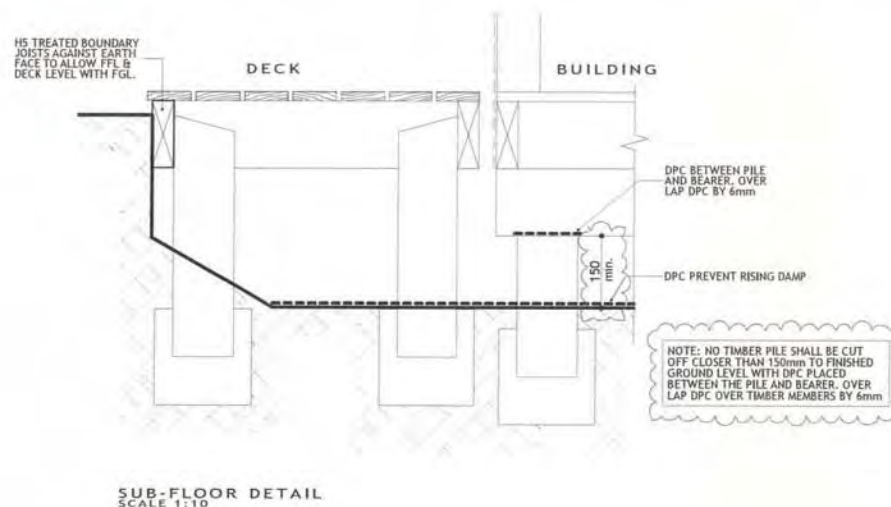
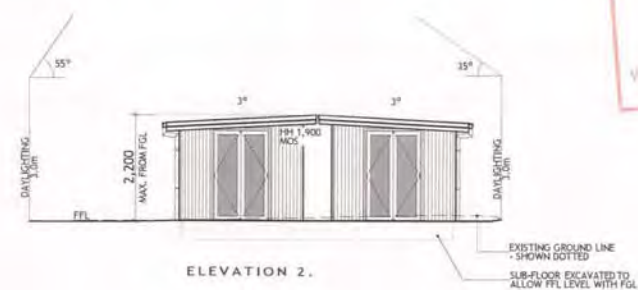
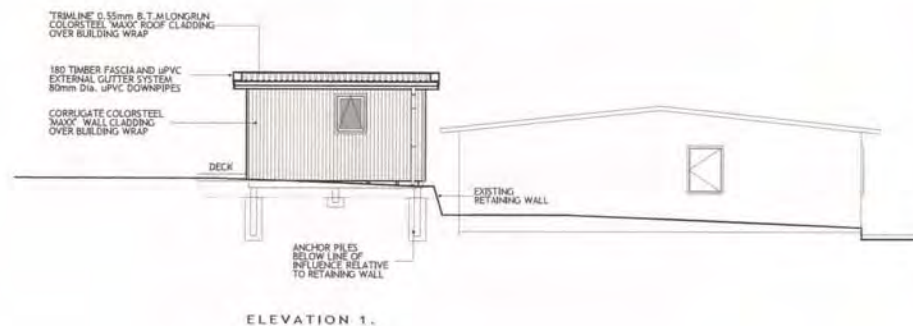
Drawing: PLANS
SCALE 1:100@A3

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BCA

Client: W & W BENNETT
LOT 2 DP 194554
TUTUKAKA BLOCK ROAD
WHANGAREI

Sheet: 4
9.

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BUILDING CONTROL



Date: 17 NOV 2011	Drawing: ELEVATIONS	Client: W & W BENNETT	Sheet: 6
Revision: DRAWING WD-E	SCALE 1:100, 1:10@A3	LOT 2 DP 194554	9.
Client No.: C113		TUTUKAKA BLOCK ROAD	
		WHANGAREI	

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RC NUMBER 1 DAY 1 MTH
00950 1811
WHANGAREI DISTRICT COUNCIL
BCA

Received
Customer Services

08 DEC 2011

Whangarei
District Council

BCA 110160

Building consent amendment application

Amended plans to be returned to wendy BENNETT ph 021733186
25 F Tutukaka Block Rd. WHANGAREI
P.O. Box 402038 Tutukaka
Whangarei 0153

Customer
Check

Office use

Checklist

☒ Yes

☒ No

1	Was building consent applied for through Council only (Note - staff check text notes for certifier)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
2	Has building consent been issued (if not, amendment can be added to original)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3	Code of compliance yet to be issued	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
4	Amendment is similar to use (If rooms being changed around within footprint e.g. bathrooms becomes laundry and vice versa then amendment is ok, but if garage becomes rumpus room or spare space is to become toilet/shower etc, this would not qualify for amendment)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
5	Amendment contained within footprint of building and no change to height, daylight angles etc as per original submitted plans. (If not the compliance manager or building officer is to decide). Duty planner may be required.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
6	Original application less than 1 year old (If older than 1 year compliance manager or building officer to decide)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
7	Is value being added to building consent (if so new building consent required)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Description

change the roof type to Gable roof
add windows to Gables

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WHANGAREI DISTRICT COUNCIL
BUILDING CONTROL

Office use

**RMA 91
RESOURCE
CONSENT
DELETE
REQUIRED**

APPROVED 2011

BC NUMBER / DAY / MTH

00950 16 12

WHANGAREI DISTRICT COUNCIL

Customer services representative name

Property ID	101792
LLP	101227
BC	BC1100950
Receipt no	297422
Date	8/12/11

Planning review required

☒ Residential

☐ Commercial

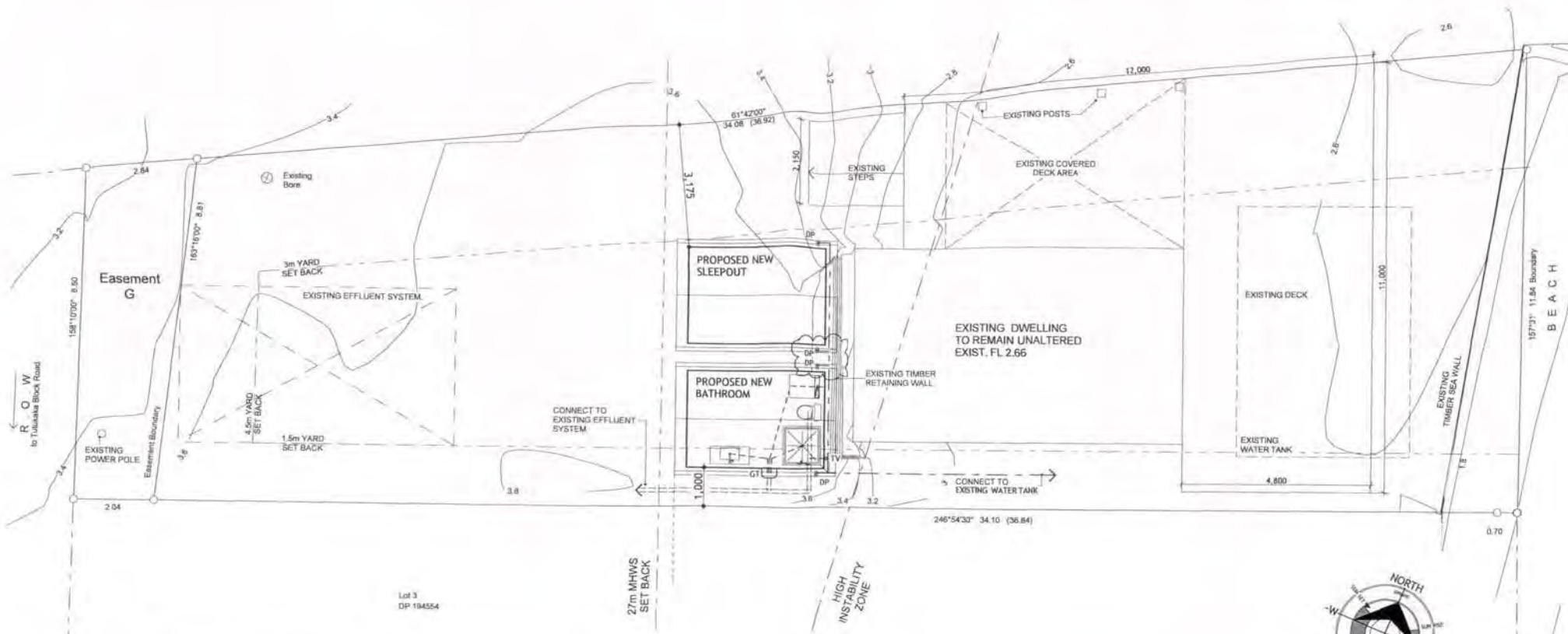
AMENDMENT

Checked By.....

Building Officer..... 20/12/11

Planning Officer.....

QU



LOT 2 DP 194554 SITE: 374m²

WIND ZONE	VERY HIGH
CORROSION ZONE	SEA SPRAY
EXISTING DWELLING:	42.00m ² APPROX.
EXISTING COVERED DECK AREA:	24.68m ² APPROX.
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LOCATION AND ORIENTATION OF PROPOSED BUILDING TO BE CONFIRMED ON SITE WITH OWNER AND LOCATION OF SERVICES TO BE LOCATED BY BUILDING CONTRACTOR BEFORE COMMENCING CONSTRUCTION
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SHOWER	400 UPVC	1:40
LAUNDRY TUB + W/M	500 UPVC	1:40
FIXTURES DISCHARGING TO VENTED DRAIN UNDER SLAB	DISCHARGE PIPE SIZE	GRADE
WATER CLOSET	1000 UPVC	1:60
VENT SIZES	PIPE SIZE	GRADE
TERMINAL VENT	800 UPVC	N/A
SANITARY DRAINAGE	PIPE SIZE	GRADE
SEWERAGE LINES	1000 UPVC	1:60
STORMWATER DRAINAGE	PIPE SIZE	GRADE
STORMWATER LINES DOWNPIPES	1000 UPVC	1:60
	800 UPVC	N/A
PLUMBING AND DRAINAGE TO NZBC G13/AS1. PIPE SIZES, GRADES, AND LAYOUT TO BE CONFIRMED BY A REGISTERED PLUMBER/DRAINLAYER.		

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All fittings are to have a water trap or other suitable system to prevent foul air from entering the building. The depth of the trap shall be not less than 40 mm and located as close as possible to the fitting.

AMENDMENT

Checked By:
Building Officer: *12/8/16-12-16*
Planning Officer: *12/8/16-12-16*

BC110160

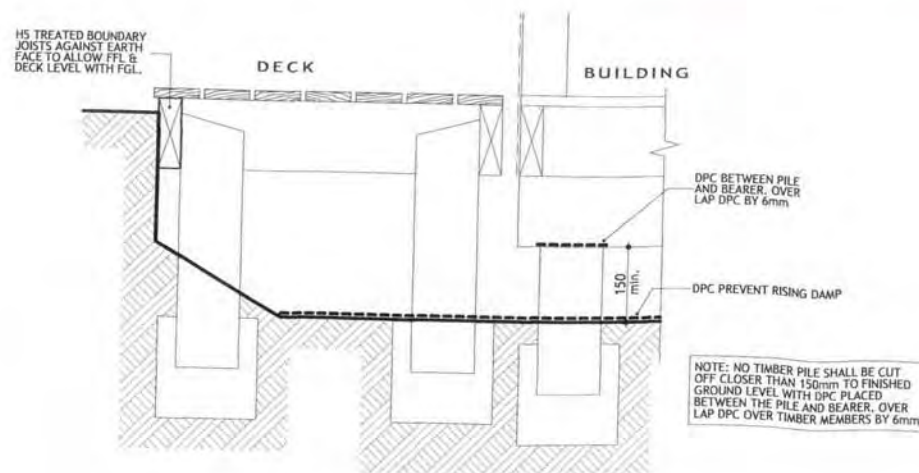
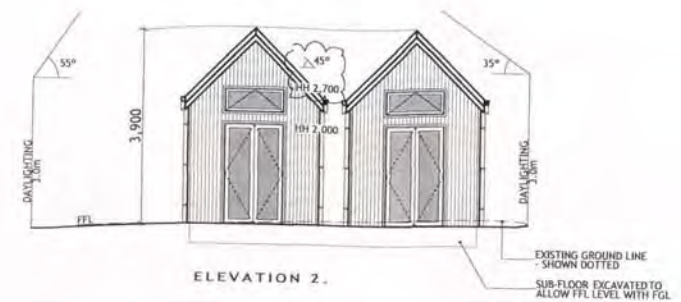
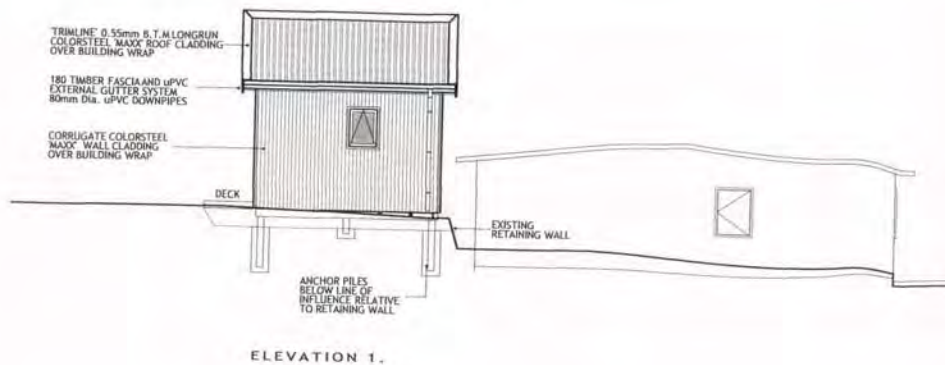
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Date: 26 NOV 2011
Revision: DRAWING WD-F
Client No.: C113

Drawing:
SITE & DRAINAGE PLAN
SCALE 1:100@A3

Client:
W & W BENNETT
LOT 2 DP 194554
TUTUKAKA BLOCK ROAD
WHANGAREI

Sheet:
3
9.



Date: 26 NOV 2011	3	Drawing: ELEVATIONS	Client: BOA	Sheet: 6
Revision: DRAWING WD-F	2	SCALE 1:100, 1:100/A3		
Client No.: C113	4			

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WHANGAREI
DISTRICT COUNCIL

Forum North, Private Bag 9023
Whangarei 0148, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

Code Compliance Certificate BC1100950
Section 95, Building Act 2004
Issued: 31 July 2012

The Building

Street Address of building:	25 F Tutukaka Block Road Whangarei 0173
Legal Description of land where building is located:	LOT 2 DP 194554 LLP 101227
Building name:	N/A
Location of building within site/block number:	N/A
Level unit number:	N/A
Current, lawfully established use:	N/A
Year first constructed:	2011

The Owner

W M Bennett
W L Riley-Bennett
PO Box 402038
Tutukaka 0153

Phone number:	4344285
Mobile number:	021733186
Facsimile number:	N/A
Email address:	wendy@hopscotch.net.nz
Website:	N/A

First point of contact for communications with the building consent authority:

Contact Person

W L Riley-Bennett
PO Box 402038
Tutukaka 0153

Phone number:	4344285
Mobile number:	021733186
Facsimile number:	N/A
Email address:	wendy@hopscotch.net.nz
Website:	N/A

Street address/registered office:	25 F Tutukaka Block Road Whangarei 0173
-----------------------------------	--

Building Work

Building Consent number

Issued by:

New Sleepout and Utility Room

BC1100950

Whangarei District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

(a) The building work complies with the building consent.

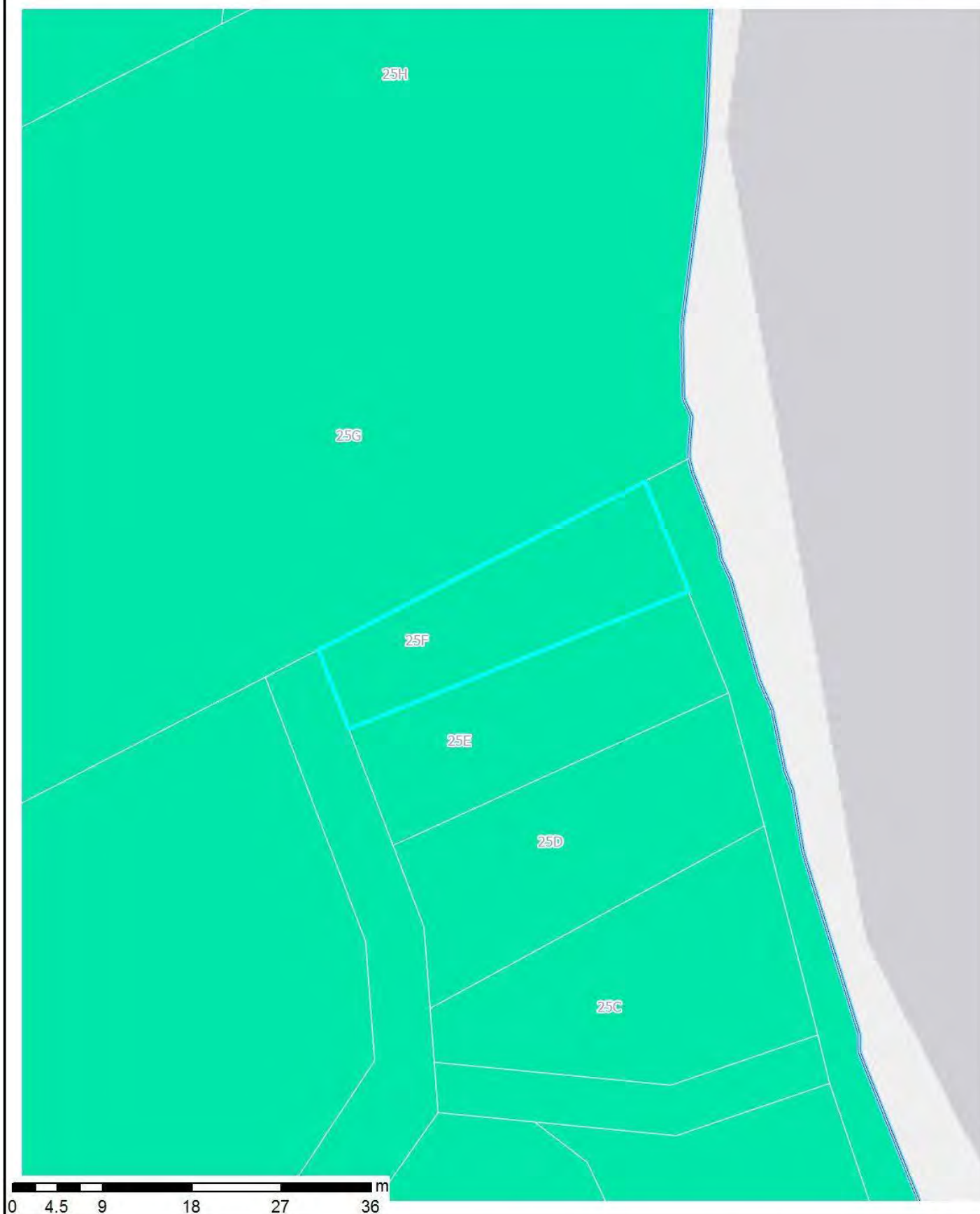


Stephanie Johnsen
Support Assistant – Code Compliance

On behalf of: Whangarei District Council

31 July 2012

Operative District Plan - Environments



Tuesday, May 11, 2021

Scale: 1:500



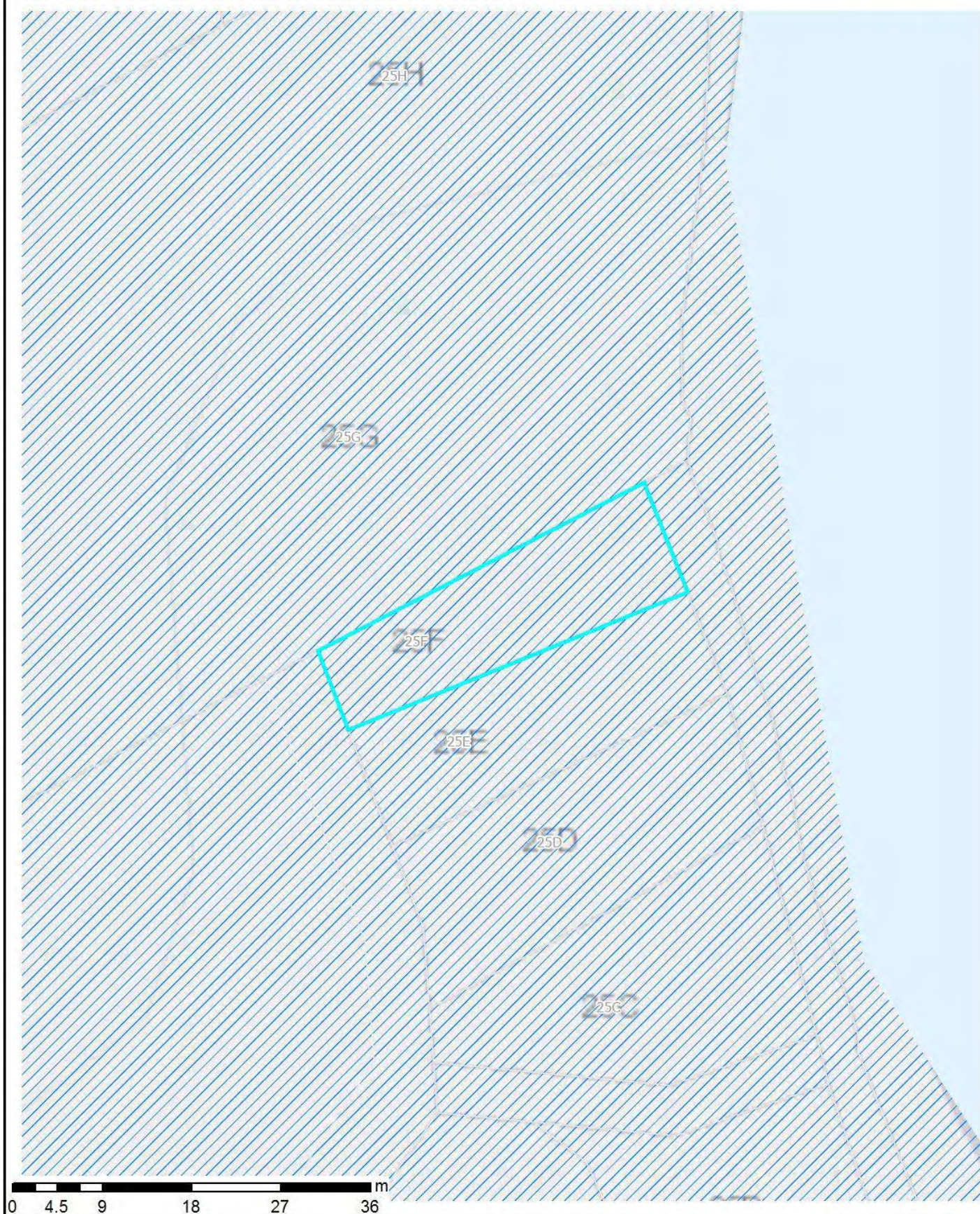
The information displayed is schematic only and serves as a guide.

It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed.

Cadastral Information has been derived from land Information New Zealand's (LINZ) Core Record System Database (CRS).

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Operative District Plan - Coastal Areas



Tuesday, May 11, 2021

Scale: 1:500



The information displayed is schematic only and serves as a guide.

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Notice of Decision

LU1100156 P101227.LU

IN THE MATTER of the Resource Management Act
1991

and

IN THE MATTER of an application under Section 88 of
the Resource Management Act 1991 by Wendy Lorraine
Riley-Bennett & Winfield Malloch Bennett

Application

Application for Restricted Discretionary Resource Consent by Wendy Lorraine Riley-Bennett & Winfield Malloch Bennett at 25F Tutukaka Block Road, Tutukaka being Lot 2 DP 194554 to construct two 9.0m² buildings to a height of 3.9m, one of which will be used as a sleepout, with the other intended for use as a bathroom. The proposed buildings fall within the definition of "building" in the District Plan because they exceed 2.2m in height. As a result the proposal requires consideration as a restricted discretionary activity because: the proposed buildings will be within 27m from Mean High Water Springs pursuant to Rule 36.4.5 (Building Setbacks from water bodies); because the proposed bathroom is setback 1.0m from the southern boundary thus infringing the required 1.5m setback pursuant to Rule 36.4.4 (Building Setbacks) and; because the proposal does not comply with the parking and manoeuvring requirements in Rule 36.3.4 (Provision of Parking Spaces).

Decision

The application has been considered and determined under authority delegated to the Team Leader (Consents) of Whangarei District Council, pursuant to Section 34A of the Resource Management Act 1991. The decision is as follows:

Determination

That pursuant to Sections 104, 104C and 108 of the Resource Management Act 1991, Council grants consent subject to the following conditions:

- 1 That the proposed development proceed in general accordance with the site plan, elevations and accompanying details submitted with this application by Reyburn and Bryant 1999 Ltd reference C113 sheets 2, 3, 4 and 6 dated November 2011, which are attached to this decision.


Reasons for the Decision

Pursuant to Section 113 of the Act the reasons for the decision are:

1. Any actual or potential effects on the environment will be **acceptable** for the following reasons:
 - a Council's Senior Environmental Engineering Officer Dean Murphy has concluded that the parking non-compliance is an existing situation and the current proposal will not result in any additional adverse effects.
 - b The proposed development occurs within a highly modified landscape that is characterised by coastal residential development and the proposed buildings are of a small scale and are situated in an area that will not be directly visible from the coast.
 - c It is considered that the proposed buildings will not affect the esplanade priority area adjacent coastal area nor public access to it.
2. The proposal is consistent with the objectives and policies of the District Plan as it will allow the development of the subject site in a manner that is compatible with the amenity and character values that epitomise the site and surrounds, while also resulting in less than minor effects on the wider and localised environment.
3. The proposal is consistent with Part 2 Matters


Advice Notes

- 1 This resource consent will lapse five years after the date of commencement of this consent (being the date of this decision) unless:
 - It is given effect to before the end of that period; or
 - An application is made to Council to extend the period after which the consent lapses, and such application is granted prior to the lapse of consent. The statutory considerations which apply to extensions are set out in Section 125 of the Resource Management Act 1991.
- 2 Section 357 of the Resource Management Act 1991 provides a right of objection to this decision. An objection must be in writing, setting out the reasons for the objection and delivered to Council within 15 working days of the decision being notified to you. A fee may be payable to cover the costs of processing any objection.
- 3 A copy of this consent should be held on site at all times during the establishment and construction phase of the activity.
- 4 All archaeological sites are protected under the provisions of the Historic Places Act 1993. It is an offence under that act to modify, damage or destroy any archaeological site, whether the site is recorded or not. Application must be made to the New Zealand Historic Places Trust for an authority to modify, damage or destroy an archaeological site(s) where avoidance of effect cannot be practised.
- 5 The Consent Holder shall pay all charges set by Council under Section 36 of the Resource Management Act 1991, including any administration, monitoring and supervision charges relating to the conditions of this resource consent. The applicant will be advised of the charges as they fall.
- 6 Pursuant to Section 102 of the Local Government Act 2002, Whangarei District Council has prepared and adopted a Development Contributions Policy. Under this policy, the activity to which this consent related is subject to Development Contributions. You will be advised of the assessment of the Development Contributions payable under separate cover in the near future. It is important to note that the Development Contributions must be paid prior to commencement of the work or activity to which consent relates or, in the case of a subdivision, prior to the issue of a Section 224(c) Certificate. Further information regarding Council's Development Contributions Policy may be obtained from the Long Term Community Consultation Plan (LTCCP) or Council's web page at www.wdc.govt.nz.


 David Badham Environmental Planner
 (Consents)

14th December 2011

Date

pp. 
 Kelly Ryan Team Leader (Consents)

19th December 2011

Date

Operative District Plan – Map Legend

Environment Maps

	Northpower Critical Overhead Lines CEL		Strategic Rural Industry
	Northpower Critical Underground Lines CEL		Fonterra Kauri Milk Processing SRIE – Ancillary Irrigation Farms
	Multi Title Site		Business 1
	Rescue Helicopter Flight Path		Business 2
	State Highway		Business 3
	Arterial Road		Business 4
	Collector Road		Town Basin
	Local Road		Port Nikau
	Designation		Marsden Point Port
	Scheduled or Overlay Area: S# label		Airport
	Oil Refinery Overlay		Living 1
	Living Overlay		Living 2
	Rural (Urban Expansion)		Living 3
	Rural Living		Kamo Walkability
	Rural Production		Marsden Primary Centre
	Rural Village Centre		Urban Transition
	Rural Village Industry		Ruakaka Equine
	Rural Village Residential		Open Space
			Papakāinga <small>Rule PKA 1 5.1 indicative only, Maori Land Court data</small>
			Future Marine Village
			Future Environment <small>The colour indicates the particular environment</small>

Resource Areas Maps

	Notable and Public Trees		Coastal Area
	Heritage Buildings, Sites & Objects		Outstanding Natural Feature
	Sites of Significance to Maori		Outstanding Natural Landscape
	Building Line Restriction		
	Esplanade Priority Area		
	Runway		
	Air Noise Boundary		
	Outer Control Boundary		
	Coastal Hazard 1		
	Coastal Hazard 2		
	Flood Susceptible Areas		
	Mining Hazard Area 1		
	Mining Hazard Area 2		
	Mining Hazard Area 3		
	Scheduled Historic Area		
	Scheduled Area or Overlay Area		
	Fonterra Noise Control Boundary		
	Helicopter Hovering Area		
	QRA Quarrying Resource Area		
	QRA Mining Area		
	QRA Buffer Area		
	QRA 500m Indicative Setback		
	Goat Control Areas		

Coastal Areas Maps

	Coastal Area
	Outstanding Natural Character Area
	High Natural Character Area

All District Plan Maps

	Northpower Tower CEL-Cat1
	National Grid Tower
	Northpower Overhead Critical Line Cel-Cat1
	National Grid Line
	Indicative Road
	Coastline
	Coast, rivers and streams

The information displayed is schematic only and serves as a guide.

It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed.

Cadastral Information has been derived from Land Information New Zealand (LINZ) Core Record System Database (CRS).

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Dosing Waste Water System Report



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Kamo, Whangarei
09 437 3996 / 0508 262 726
Wastewts@xtra.co.nz

Oturu Bay, Tutukaka

Contact: Wendy & Wynn Bennett
Phone: 09 434 3107
Technician: Rose Lane

Thursday, 12 November 2020

Test Procedure	Test Results/Comments	
Tank		
Lid Sealed ?	Sealed and No Damage	
Visible damage ?		
Timer On Tested ?		
Timer Seconds On		
Timer Off Tested ?		
Timer Minutes Off		
Comments if any		
Primary Septic Chambers		
Accumulation of Sludge	Sludge is accumulating, Scum is accumulating, No issues with Tank Chambers	250 mm of sludge
Accumulation of Scum		30 mm of scum
Detrimental Material		
Screen Filter		
Inlet Junction		
Comments if any		
Secondary Septic Chamber		
Accumulation of Sludge		
Accumulation of Scum		
Detrimental Material		
Zable Filter		
Comments if any		
Textile Filter Pod		
Textile Filter		
Spray Nozzlers		
Scum		
Comments if any		
Recirculating Chamber		
Operation of pump	No issues with recirculating chamber	
Scum accumulation		
Pump auto activation		
High level float activation		
Auto off at critical level		
Comments if any		
Irrigation Chamber		
Operation of pump		
Scum Accumulation		
Pump auto activation		
Pump 2 high level float activation		
Auto off at critical level		
Pump Pressure		
Comments if any		
Control Box Base		
At least 70 mm above ground	Base is at least 70 mm above finished ground	
Comments if any		
Electrical System		
Sub-board clean and insect free	No issues with the electrical system	
Cables checked for chafing		
Cable and Lead holes sealed		
Sub-board in correct position		
Comments if any		
Irrigation System		
Field Inspection		
Air release		
Flush Valve		
Arkal Filter Cleaned		
Additional Notes: All ok. This tank must be serviced with a teuck to remove dosing and irrigation chambers as there's just nowhere to put any water discussed with owners and this is the plan going forward.		