

Land Information Memorandum

Disclaimer

This document has been obtained on behalf of the Vendor and copies have been made available to prospective Purchasers and interested parties for general information purposes only. However, neither the Vendor nor Bayleys in the North (Mackys Real Estate Limited), warrant the accuracy of this copy and they accept no liability for any errors or omissions in the report. It is recommended to all prospective Purchasers and interested parties that they obtain and reply on their own reports and make their own independent enquiries for due diligence purposes.



LAND INFORMATION MEMORANDUM NO: LM2200447

Received: 17 Mar 2022

Issued: 25 Mar 2022

**Section 44A, Local Government Official Information
And Meetings Act 1987**

APPLICANT

C D Templeton, G R Templeton
1 Butler Place
Kamo
Whangarei 0112

SITE INFORMATION

Property ID: 10823
Street Address: 1 Butler Place Kamo 0112
Legal Description: LOT 5 DP 48957

This is a Land Information Memorandum only.

Full payment has been made for this Land Information Memorandum.

1: PROPERTY DETAILS.

- Location Map
- Aerial Photo
- Deposited Plan: DP 48957 – deposited 1/09/61
- Record of Title: NA2106/6 – issued 29/11/62

2: INFORMATION IDENTIFYING EACH (IF ANY) SPECIAL FEATURE OR CHARACTERISTIC OF THE LAND CONCERNED, INCLUDING BUT NOT LIMITED TO POTENTIAL EROSION, AVULSION, FALLING DEBRIS, SUBSIDENCE, SLIPPAGE, ALLUVION, OR INUNDATION, OR LIKELY PRESENCE OF HAZARDOUS CONTAMINANTS, BEING A FEATURE OR CHARACTERISTIC THAT IS KNOWN TO THE WHANGAREI DISTRICT COUNCIL.

This property is in an area showing low stability hazard. Tonkin & Taylor Ltd have prepared a report on stability hazard potential in the District, see map attached and refer - <https://www.wdc.govt.nz/Services/Property/Planning/Property-Hazard-Reports-and-Map>

Regional Policy Statement

The Regional Policy Statement's role is to promote sustainable management of Northland's natural and physical resources. It does this by:

- Providing an overview of the region's resource management issues; and
- Setting out policies and methods to achieve integrated management of Northland's natural and physical resources.

Refer - <https://www.nrc.govt.nz/resource-library-summary/plans-and-policies/regional-policy-statement>

3: INFORMATION ON COUNCIL AND PRIVATE UTILITY (SEWERAGE, WATER & STORMWATER) SERVICES.

Information relating to Council Utility Services for this property is attached.

- Pipeline Asset Services Map

Service Sheet/s (e.g. As-Built, House Connection, House Drainage etc...) for this property from the building file is attached.

Site Drainage Plan dated 1/10/87

For further information regarding Council Water Supply please refer - <https://www.wdc.govt.nz/Services/Water-services/Water-Supply>

4: INFORMATION RELATING TO VALUATION, LAND, AND WATER RATES. INFORMATION FROM WHANGAREI DISTRICT COUNCIL RECORDS.

Information on Valuation, Rates and Water Meter location (if applicable) for the current financial year, is attached.

Outstanding water balance as at today's date is \$0.00.
A final reading of the water meter will be required.

5: INFORMATION CONCERNING ANY PERMIT, CONSENT, CERTIFICATE, NOTICE ORDER, OR REQUISITION AFFECTING THE LAND OR ANY BUILDING ON THE LAND PREVIOUSLY ISSUED BY THE WHANGAREI DISTRICT COUNCIL OR BUILDING CERTIFIER (WHETHER UNDER THE BUILDING ACT 1991 AND/OR 2004 OR ANY OTHER ACT).

Copies of Building Permits issued for this property are attached.

- Erect a residence & carport – dated 2/11/62
- Weatherboarding & extension to carport - dated 20/05/64
- Enclose porch – received 31/07/72
- Extend the lounge – received 1/09/75
- Erect a garage – received 5/12/78
- Build a basement – received 1/09/78
- Reroof with Premier tiles – received 9/03/84
- Install Kent Logfire – received 10/04/86

Stormwater attenuation may be required on this property for new building work that results in an increase of > 30m² in impervious area including paving, driveways etc. For the Stormwater Attenuation guidance notes refer -

<https://www.wdc.govt.nz/Services/Water-services/Stormwater/Stormwater-flood-management>

6: INFORMATION RELATING TO THE USE TO WHICH THE LAND MAY BE PUT AND ANY CONDITIONS ATTACHED TO THAT USE.

ENVIRONMENT:

Kamo Walkability Environment – Low Density Living Precinct, see - District Plan Environments map attached and refer to Part 3: Area Specific Matters - Special Purpose Environments.

<https://www.wdc.govt.nz/Services/Property/Planning/Operative-District-Plan>

Urban areas in Whangarei District are currently going through a proposed plan change to create new zones. Refer -

<https://www.wdc.govt.nz/Services/Property/Planning/District-Plan-changes>

Please note that this property is subject to Councils Decision - District Plan Environment, see map attached.

Medium Density Residential Zone

For further information please contact the Policy Planner, 09 430 4200.

This property has been the subject of an application for Variation of Bulk and Location Requirements, information attached.

- SF:2860 – to erect a garage workshop that would intrude on one boundary into a prescribed 3m side yard up to the boundary and into another yard by 1.44m, approved 31/01/79

7: INFORMATION WHICH IN TERMS OF ANY OTHER ACT HAS BEEN NOTIFIED TO THE WHANGAREI DISTRICT COUNCIL BY ANY STATUTORY ORGANISATION HAVING THE POWER TO CLASSIFY LAND OR BUILDINGS FOR ANY PURPOSE.

Whangarei District Council is not aware of any classification attached to the land or building/s.

8: OTHER INFORMATION CONCERNING THE LAND AS WHANGAREI DISTRICT COUNCIL CONSIDERS, AT COUNCILS DISCRETION, TO BE RELEVANT.

Whangarei District Council recommends that all Whangarei District residents visit the Northland Regional Council website, <<https://www.nrc.govt.nz/>> for information on Civil Defence hazard response.

This information includes Tsunami evacuation zones, maps and community response plans for flooding and extreme weather events etc.

Copies of site plan, floor plan and elevations are attached for your information.

9: INFORMATION RELATING TO ANY UTILITY SERVICE OTHER THAN COUNCILS SUCH AS TELEPHONE, ELECTRICITY, GAS AND REGIONAL COUNCIL WILL NEED TO BE OBTAINED FROM THE RELEVANT UTILITY OPERATOR.

Further information may be available from other authorities; Northland Regional Council; Northpower; Spark; Vector Limited; etc.

DISCLAIMER

Land Information Memoranda (LIM) are prepared under the provisions of Section 44A of the Local Government Official Information and Meetings Act 1987. An inspection of the land or building(s) has not been completed for the purposes of preparing the LIM. It has been compiled from the records held by Whangarei District Council. The information contained in the LIM is correct at the date the LIM report is issued.

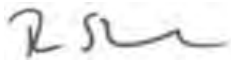
A LIM is prepared for the use of the Applicant and may not be able to be relied on by other parties.

Advice from an independent professional such as a lawyer or property advisor should be sought regarding the contents of this LIM and the information contained herewith.

Additional information regarding the land or buildings (such as resource consents and other permissions and restrictions), which is not contained in this LIM, may also be held by the Northland Regional Council. The Northland Regional Council should be contacted for that information. Ph (09)4701200 or 0800 002 004 or www.nrc.govt.nz

A LIM is not a suitable search of Council's records for the purposes of the National Environmental Standards (NES) for soil contamination of a potentially contaminated site.



Signed for and on behalf of Council:



R Shanks
Property Assessment Officer

Property Map



- New Subdivisions**
-  Proposed Pre-223
 -  223 Certificate

New subdivisions: Proposed as accepted, pre-223 and 223 Certificate with set Conditions.

Land Parcel boundaries are indicative only and are not survey accurate. Area measurement is derived from the displayed geometry and is approximate. True accurate boundary dimensions can be obtained from LINZ survey and title plans

Thursday, March 24, 2022

Scale: 1:500



The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed. Cadastral Information has been derived from land Information New Zealand's (LINZ) Core Record System Database (CRS). CROWN COPYRIGHT RESERVED. © Copyright Whangarei District Council.

Aerial Photography



Thursday, March 24, 2022

Scale:1:500



This map was last updated in 2018. It includes New Zealand's most current publicly owned aerial imagery and is sourced from the LINZ Data Service.

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Land Transfer Office

Received 25.9.60
Title Reference Allot. 50/191/88
Pt. 2, C.T. 1686/88

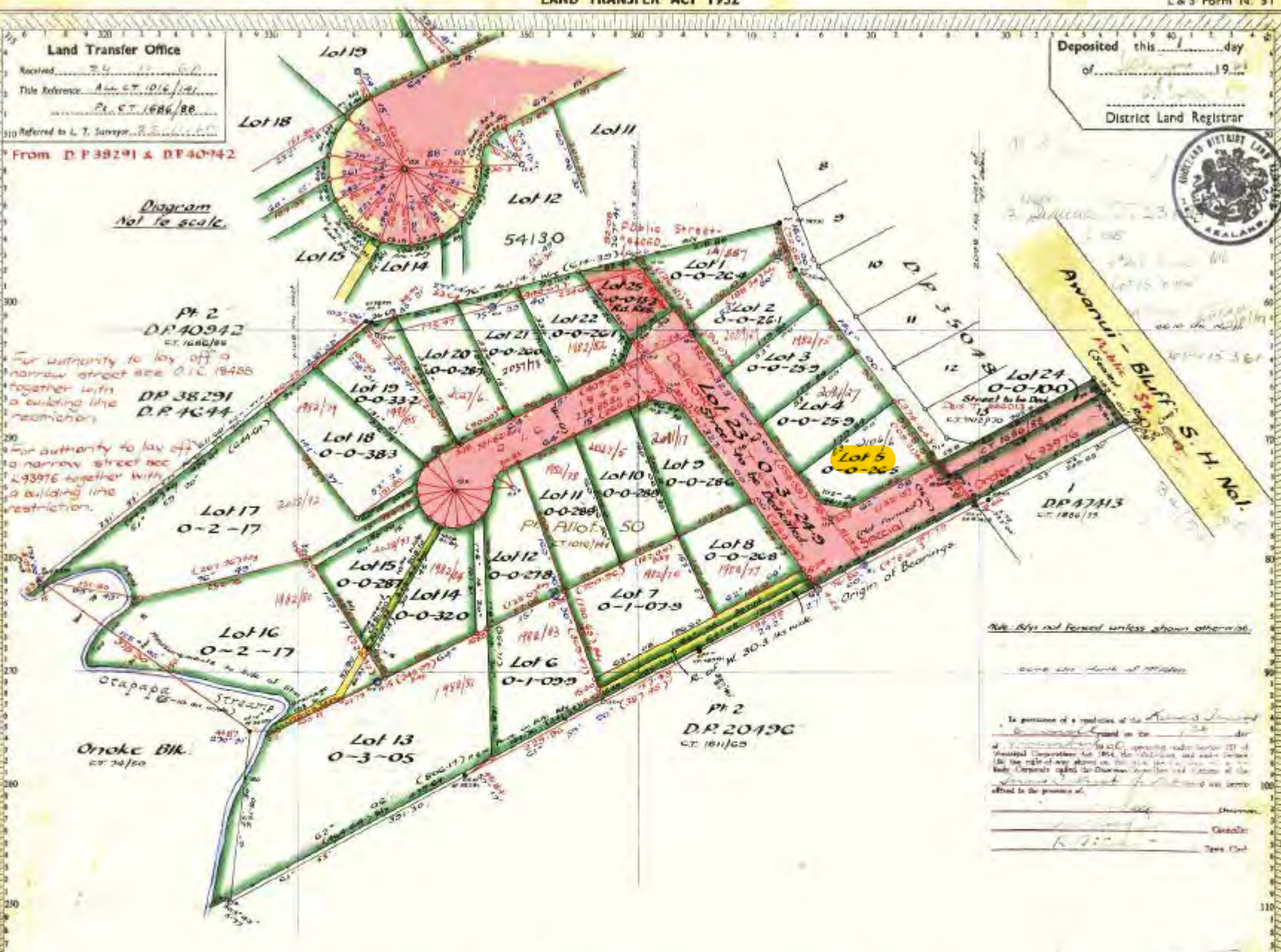
From D.P. 38291 & D.P. 40942

Diagram
Not to scale.

Deposited this 1 day
of 1960
District Land Registrar



Pt. 2
D.P. 40942
C.T. 1686/88
For authority to lay off a narrow street see C.T. 18488 together with a building line restriction.
D.P. 38291
D.P. 4644
For authority to lay off a narrow street see C.T. 93976 together with a building line restriction.



Not to be forced unless shown otherwise.
In pursuance of a resolution of the Whangarei Council dated 19.9.60
I, the undersigned, being a duly qualified and authorized Surveyor, do hereby certify that this plan is a true and correct copy of the original deposited in the office of the District Land Registrar, Whangarei, New Zealand, on the 1st day of September 1960.
Surveyor
K. J. Simpson

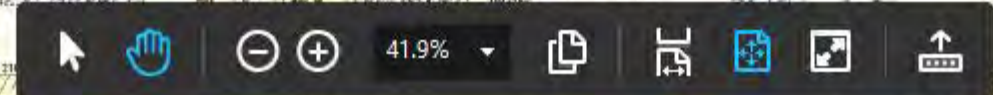
Subdn. of Pt. Allot. 50 Whangarei Parish.

Street to be Dedicated: 0-3-349
Road Reserve : 0-0-13.3
Lots 1-22 : 5-2-21.4
Total Area : 6-2-29.8

Approved as to Survey
Chief Surveyor
9.12.60

Comprised in C.T. 1016/141 & 1686/88
Survey Block & District VII Purua S. D.
Land District No. 11, Auckland, Local Body Kamo Town Board.
Scale One chain to an inch. Surveyed by K. J. Simpson Date Sept. 1960.
I, K. J. Simpson, Registered Surveyor and holder of an annual practicing certificate, do solemnly and sincerely declare that this plan has been made from surveys executed by me; that both plan and survey are correct, and have been made in accordance with the regulations under the Surveyors Act, 1930.
And I make this solemn declaration, conscientiously believing the same to be true and by virtue of the Statute in that behalf made.

Approved
E. H. Tustan
Applicant or Registered Owner
This space reserved for plan revision
48957





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**



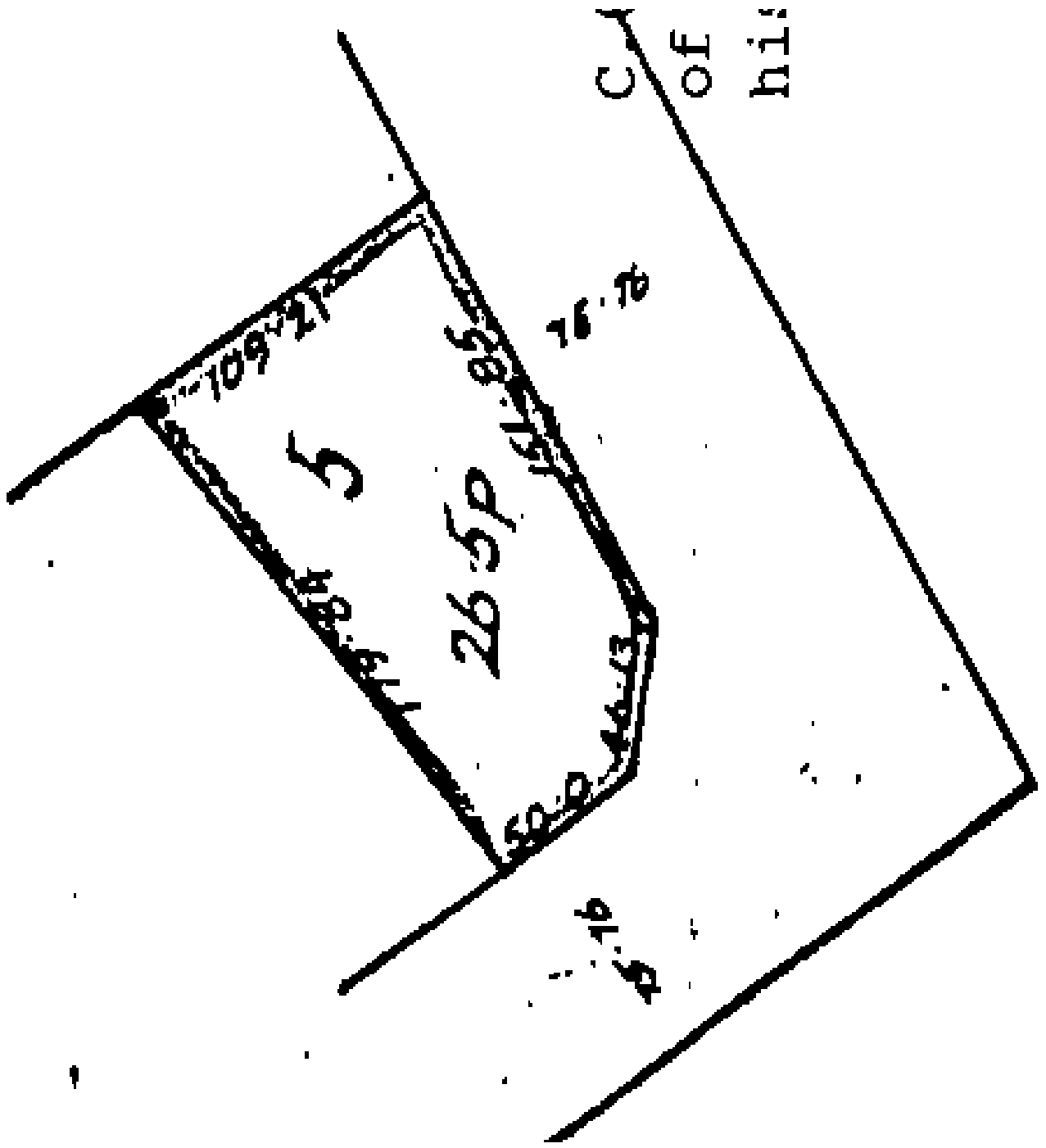

R.W. Muir
Registrar-General
of Land

Identifier NA2106/6
Land Registration District North Auckland
Date Issued 29 November 1962

Prior References
NA1982/74

Estate Fee Simple
Area 670 square metres more or less
Legal Description Lot 5 Deposited Plan 48957
Registered Owners
Colin David Templeton and Glenda Ruby Templeton

Interests
K93976 Building Line Restriction
10221609.3 Mortgage to ASB Bank Limited - 16.10.2015 at 2:08 pm








This Land Stability hazard information was prepared by Tonkin and Taylor Engineers Ltd.

Hazard information as shown is approximate and should not be used as a replacement for site specific investigation and assessments. The absence of hazard information shown does not mean that there is none, only that the information may not yet have been collected.

Land InStability

-  High Hazard
-  Moderate Hazard
-  Low Hazard

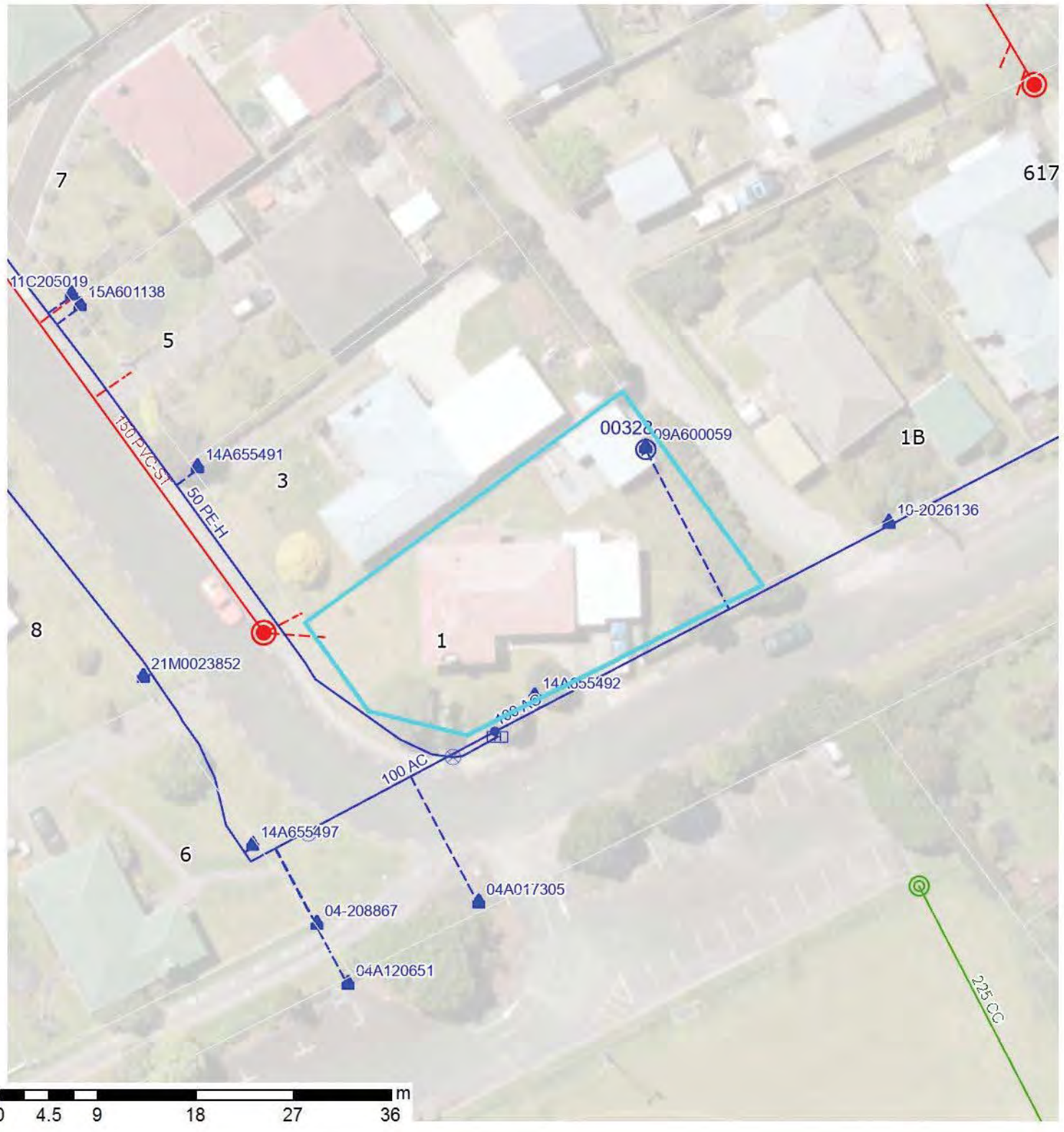
Thursday, March 24, 2022

Scale:1:500

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Pipeline Assets



- | | | |
|----------------------|------------------------------|--------------------------|
| Water | Stormwater | Wastewater continued |
| Dark blue = WDC | Dark green = WDC | Pink = Private |
| Light blue = Private | Light green = Private | Other |
| Water Node | Other | Manhole |
| Other | Sump | Nodes |
| Main Valves | Inlet Outlet Node | Valve |
| Toby Valves | Manhole | Pump |
| Hydrants | Storm Water Service Line | Backflow Preventer |
| Pump | Storm Water Line | Waste Water Service Line |
| Water Meter | Wastewater | Gravity |
| WaterBackFlow | Public Pressure Sewer System | Rising |
| Water Service Line | Private Pumping Unit | Waste Water Line |
| Water Line | | Gravity |
| | | Rising |

This information is generalized and shows the approximate location of the Public pipeline services. For digging, the As-Built engineering drawings must be used to accurately locate the services. See WDC Customer Services.

Thursday, March 24, 2022 Scale: 1:500



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WHANGAREI CITY

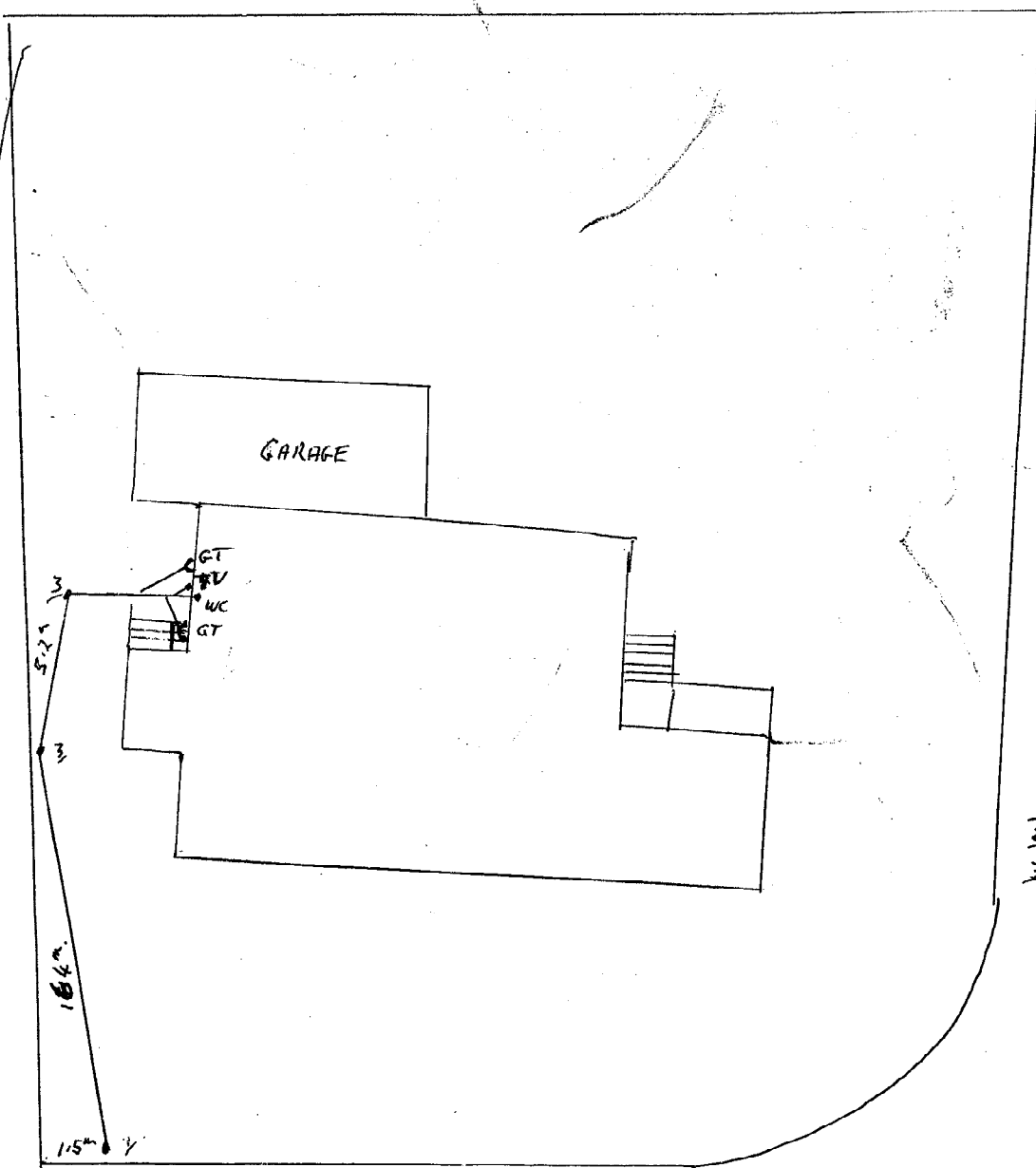
SITE DRAINAGE PLAN

DRAINLAYER *David Smith*
 Permit No. 6161
 Date 1-10-87

10823

ACTUAL measurements between inspection pipes, changes of direction, etc. are to be clearly shown. This applies to stormwater drains also. The DEPTH of all cleaning eyes, is also to be shown.

New Sewerdrains	RED	——
Stormwater	DOTTED BLACK	----
Old Drains	FULL BLACK	——
Material Used		
SEWER	PVC/CERAMIC	
STORMWATER	PVC/CERAMIC	
	DELETE	



OWNER: *Bob Paul*
 STREET: *1 Butler Pl.*

LOT No.
 DP No.



Whangarei District Council
Forum North - Private Bag 9023
Whangarei New Zealand
Ph:0-9-430 4200 Fax:0-9-438 7632
Email: mailroom@wdc.govt.nz

Rates LIM Report

As at: Thursday, 24 March, 2022

Property Number 10823
Legal Description LOT 5 DP 48957
Assessment Number 0071105500
Address 1 Butler Place Kamo 0112
Record of Title(s) 2106/6
Land Value \$320,000
Capital Value \$570,000
Date of Valuation 01-July-2021
Effective Date (used for rating purposes) 01-July-2022
Meter Location 3M LH OF DRIVE #1

Rates Breakdown (up to 30 June 2022)

Rates Charge	Charge Total
General Residential	\$483.87
Sewage Disposal - Residential	\$803.00
Uniform Annual General Charge	\$724.00
Regional Civil Defence & Hazard Management	\$37.88
Regional Council Services	\$132.69
Regional Economic Development	\$4.51
Regional Emergency Services Rate	\$11.84
Regional Flood Infrastructure	\$31.19
Regional Land and Fresh Water Management	\$71.35
Regional Pest Management	\$76.40
Regional River Management - General Catchment Area	\$42.22
Regional Sporting Facilities	\$16.95
Regional Transport Rate	\$23.07
Annual Charge Total	\$2,458.97

Opening Balance as at 01/07/2021 **\$-166.66**

Rates Instalments	Total
20/07/2021 Instalment	\$616.97
20/10/2021 Instalment	\$614.00
20/01/2022 Instalment	\$614.00
20/04/2022 Instalment	\$614.00
Rates Total	\$2,458.97

Balance to Clear **\$391.71**

WHANGAREI CITY COUNCIL

4104

APPLICATION FOR: **DRAINAGE CONNECTION**
~~WATER CONNECTION~~
~~PERMIT TO CROSS FOOTWAY~~

10023

Date: 14/9/1987

Address and Legal Description of Property which is the subject of this Application

Please print clearly and firmly

Address: 1 BUTLER PLACE KAMO. Lot No. 5 D.P. No. 48954
 Legal Owner: R & M. B. PAUL. Assess No. 711/55
 Name of Applicant: OWNER. Inspector's Signature: B. B. Baynell
 Applicant's Postal Address: 1 BUTLER PLACE KAMO. Date: _____
 Applicant's Signature: [Signature] Cashier's Signature: _____

DRAINAGE CONNECTIONS

In consideration of the Council undertaking to construct and provide a sewer/stormwater connection to the above said land, I agree to pay for such service the charge set out hereunder, and such charge is to be paid prior to the Council commencing work. Seven days notice shall be given to Services Engineer before connection is required.

STORMWATER SEWER	No.	Size	Type	Depth	Charge
SANITARY SEWER	1	100	D		\$385.00

Tick when required: To be advised _____ As soon as possible _____ Urgent _____

In consideration of and on receipt of the above charge, the Whangarei City Council hereby undertakes to construct and provide the above drainage connection. (NOTE "DEPTH" Means Depth From Ground Level, To Invert Level Of Proposed Private Drain Where It Reaches Council Connection.)

Water Connection

Size of connection required: _____ mm to service. _____ (subdivision, section, dwelling, factory, etc.)

Fee \$: _____

NOTE 1. Where no fee has been paid at the time of application and subsequently, no connection is available, the standard charge will be debited against the applicant for the installation of the appropriate sized connection.

NOTE 2. Where the size of the connection applied for is deemed by the City Engineer to be unsuitable, the appropriate sized connection will be installed, and any adjustment in costs will be debited or credited to the applicant.

PERMIT TO CROSS FOOTWAY

I hereby make application under Clause 1 1 1 Whangarei C.C. By-law No.2 1964 for a permit to take a vehicle over the footway to the property owned by _____

at _____ Permit Fee \$: _____

I hereby pay a deposit of \$ _____ for the purpose of repairing any damage that may be done to the footway during the currency of the permit and pursuant to the licence granted by the permit. If the repairs cost less than the deposit a refund shall be made to me by the Council and if the repairs cost more than the deposit I will pay the Council the extra cost. I hereby absolutely accept that the footway which is the subject of this application is at this date hereof undamaged/damaged, and I request that the damage be assessed.

Dated: _____/_____/19____ Signature of Applicant: _____

TO CITY TREASURER I hereby apply for the refund of deposit

4104

Name of Applicant (block letters): _____

Signature of Applicant: _____ Dated: _____/_____/19____

For Office Use Only

Footway inspected and refund approved.

For Operations Engineer: _____ Dated: _____/_____/19____

KAMO TOWN COUNCIL

Approved

Health Insp.

Building Insp.

Building Application Form

Date 2nd Nov. 1962

10023

To the Town Clerk,

Sir,

I hereby apply for permission to Erect a Residence & Carport.
at Butler's Place. for Mr. R & Mrs. D. B. Paul.
(House Number and Street) (Owner)
of R. D. 6. Whangarei., according to locality, plan and detail plans, elevations,
(Address)

cross-sections and specifications of building deposited herewith in duplicate.

PARTICULARS OF LAND:

LENGTH OF BOUNDARIES:

Assess. No.: _____ Front: 80.2 LKS.
Lot No.: 5. Back: 109.21 LKS.
D.P.: 48954 Side: 174.84 " Area: 26.5 P.
Allotment No.: PI. ALLOT 50 Par. of Wh. Side: 182.15 "

PARTICULARS OF BUILDING:

Foundations: Continuous Concrete. Floors: Wood
Walls: Wood Roofs: Iron

Area of Ground Floor: 1006 square feet
Area of Outbuildings: Carport 200. square feet
Number of Storeys: Above kerb level 1 Below kerb level —
Average distance of set-back of front of buildings from street boundary line: 25' & 15'

ESTIMATED COST:

Building _____ £ 2444-0-0
Sanitary, Plumbing and Drainage _____ £ 550-0-0
Total £ 2994-0-0

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose): Residential.

Proposed use or occupancy or other parts of buildings: Car Storage.

Nature of ground on which building is to be placed and on the subjacent strata: Volcanic

Yours faithfully,

R. Paul

Owner.

Builder's Postal Address:

C. & K. PROVAN LTD.

C. & K. PROVAN LTD.

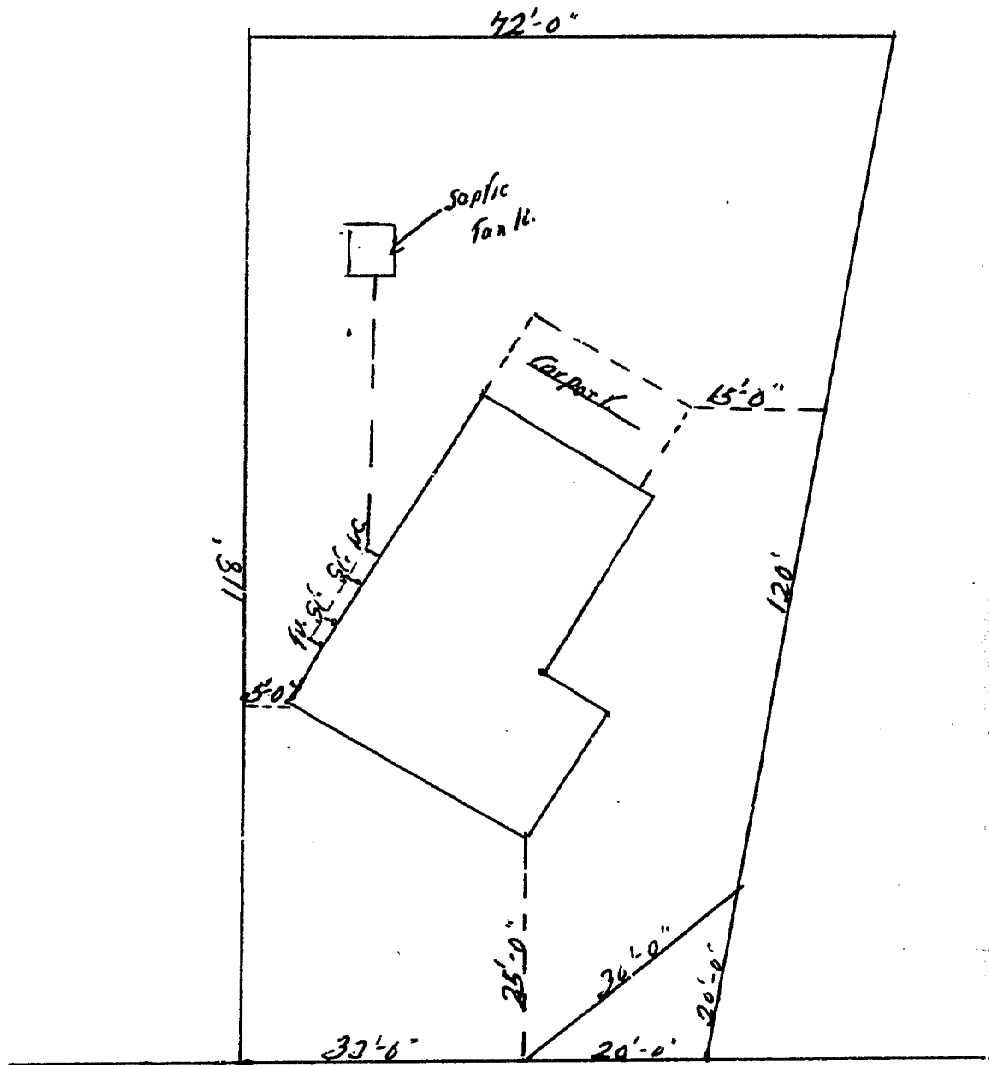
Builder

Box 258

Whangarei

SCALE PLAN

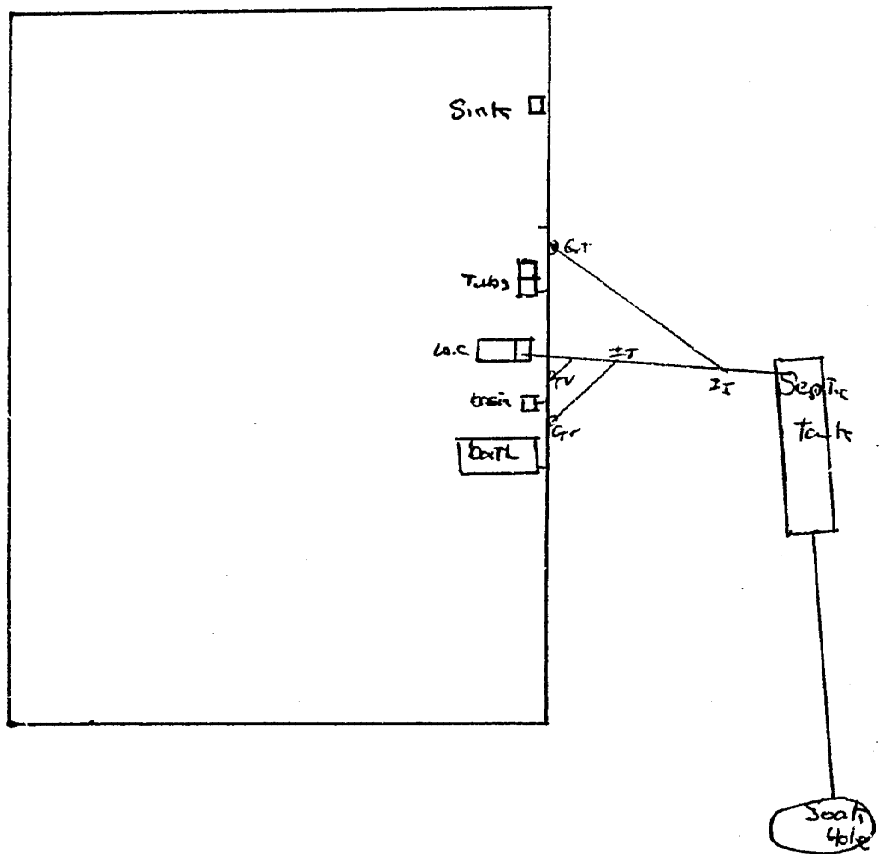
10823



1 foot
Scale: $\frac{1}{4}$ th inch = 1 chain To 1 inch.
2 feet

SCALE PLAN

0825

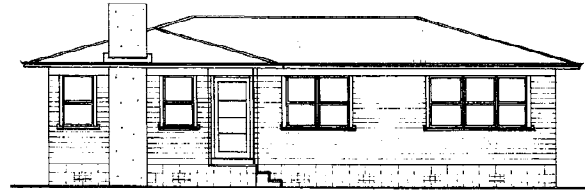


1 foot

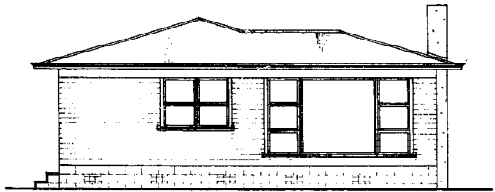
Scale: $\frac{1}{8}$ th inch—

~~2 feet~~

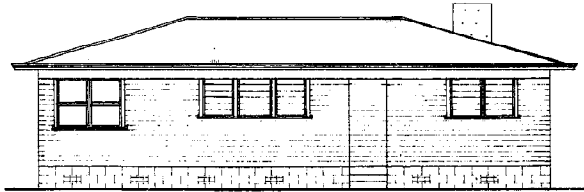
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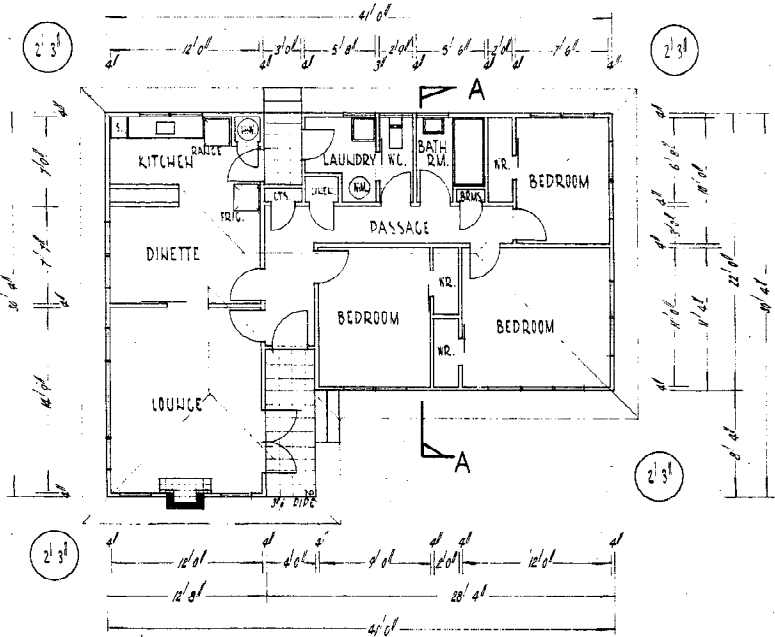
FRONT ELEVATION



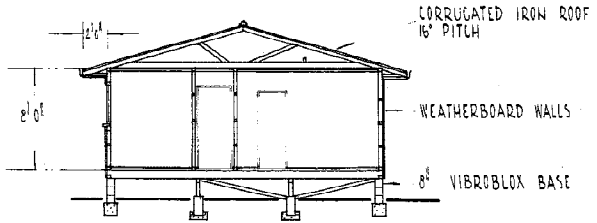
SIDE ELEVATION



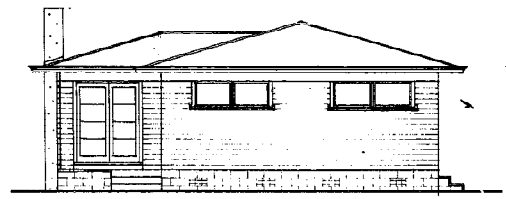
BACK ELEVATION



FLOOR PLAN



SECTION A-A



SIDE ELEVATION

AREA — 1006 SQ. FT.

<p>SCALE 3 FEET TO 1 INCH</p>	<p>J. M. STIFFE ARCHITECTURAL SERVICES LTD. ARCHITECTS ————— DRAUGHTSMEN ————— INDUSTRIAL DESIGNERS WHANGAREI ————— HAMILTON</p>	<p>PROVANBILT HOUSING</p>	<p>PLAN No. 2589</p>	<p>BUILDER C. & K. PROVAN LTD. WHANGAREI.</p>
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KAMO TOWN COUNCIL

BUILDING APPLICATION FORM

Approved Health Insp.

Approved *WCH* Building Insp.

Building Permit Fee £ *10/-* Gen. Rec. *131.0*

D. & P. Permit Fee £ Gen. Rec.

Water Connection Fee £ Gen. Rec.

Building Permit No. Water

D. & P. Permit No. Rubbish

I hereby apply for permission to *Weatherboard*
and carpet at *1 Butler Place, Kam*
(House Number and Street)

for *Paul* of *1 Butler Place*
(Owner) (Owner's Present Address)

Kamo, in accordance with the plans
and specifications deposited herewith.

PARTICULARS OF LAND:

Valuation Roll No. *77/103/1*

Lot No. *5*

D.P. No. *A9957*

Allot. No.

ESTIMATED COST:

Building £ *50*

Sanitary
Plumbing and Drainage £

TOTAL £

PARTICULARS OF BUILDING:

Proposed Use *ba*

Foundations

Walls

Floors

Roof

Area of Ground Floor square feet

Area of Basement square feet

Building Inspector's Comments
O. K.

Builder's Postal Address *Owner* Signed *K. Paul* Owner

Date *20 May 1964* Signed Builder

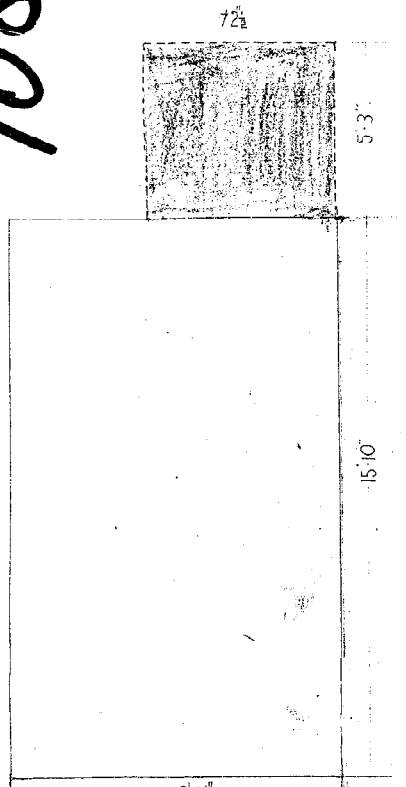
Health Inspector's Comments
.....
.....
.....

**FOR SCALE OF FEES PAYABLE
SEE REVERSE**

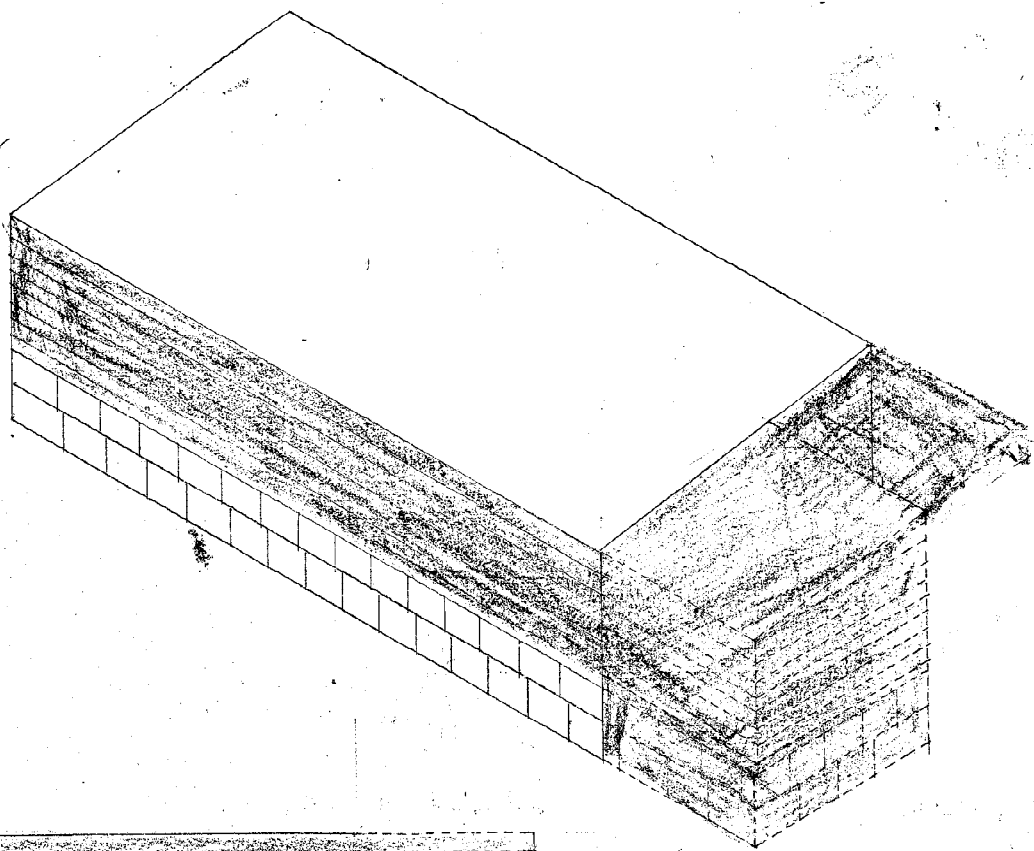
Weather-boarding + extension
carport
R. Paul
1 Butler Place
Kamo

10823

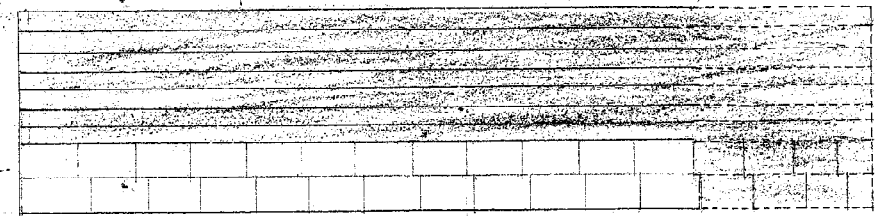
10823



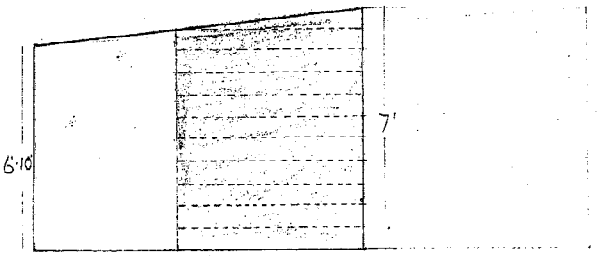
PLAN



ISOMETRIC VIEW



FRONT ELEVATION



END ELEVATION

~~additional construction~~ additional construction

7.

E40450 ✓

588

WHANGAREI CITY COUNCIL

7138

10/12/73

BUILDING APPLICATION FORM

Please Note that any person wishing to take a vehicle over footpath, other than a proper crossing constructed for such purpose, shall apply to Council for a permit to do so and shall pay a fee of \$20. Date.....19.....

To: The City Engineer,

Sir,

I hereby apply for permission to ENCLOSE PORCH
at 1 BUTLER PLACE KAMO for MR. PAUL
(House Number and Street) (Owner)

of 1 BUTLER PLACE KAMO according to locality plan and detail plans, elevations cross sections
(Address)

and specifications of building deposited herewith in duplicate.

PARTICULARS OF LAND :

Assess. No. 77/103/1
Lot No. 5
D.P. 48 957
Allotment No.

LENGTH OF BOUNDARIES :

Front
Back
Side Area
Side

PARTICULARS OF BUILDING :

Foundations CONCRETE
Walls TIMBER

Floors CONCRETE
Roofs IRON

Area of Ground Floor 48 square feet
Area of Outbuildings square feet

Number of Storeys : Above kerb level 1 Below kerb level

Average distance of set back of front of buildings from street boundary line

ESTIMATED COST :

Building	\$ 646:
Sanitary Plumbing and Drainage	\$:
Total	\$ 646:

Footpath Bond	:
Permit Fee	:
Water	:
Inspector	:
Rec. No. <u>8719</u>	Date <u>31.7.73</u>

Proposed purposes for which every part of building is to used or occupied (describing separately each part intended for use or occupation for a separate purpose) DWELLING

Proposed use or occupancy of other parts of buildings

Nature of ground on which building is to be placed and on the subjacent strata VOLCANIC

Yours faithfully,

R Paul

Owner

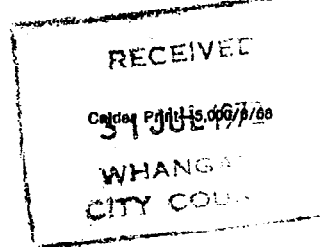
Builder's Postal Address :

1 UGLE CRESENT
KAMO

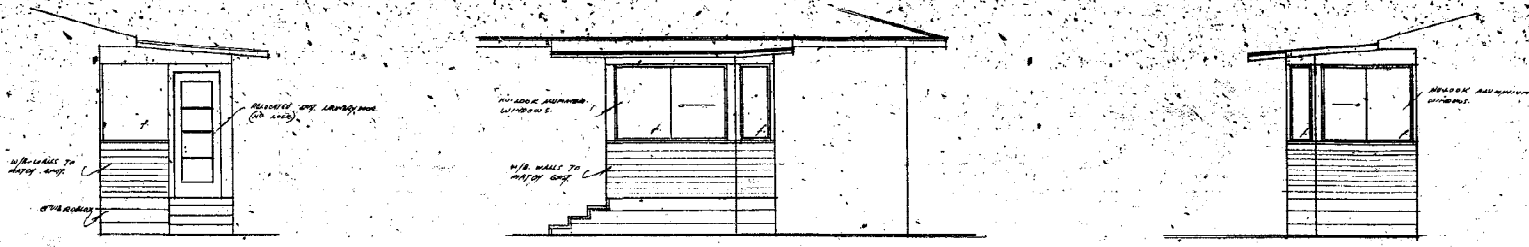
B. B. B.

Builder

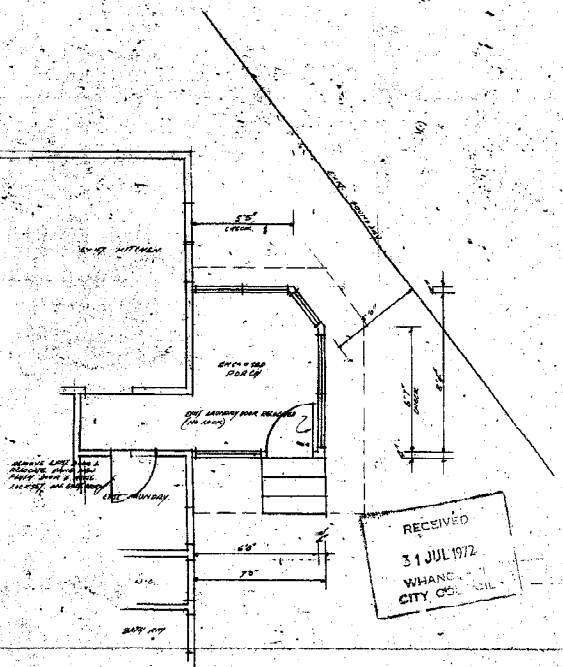
Builder's Phone 73910



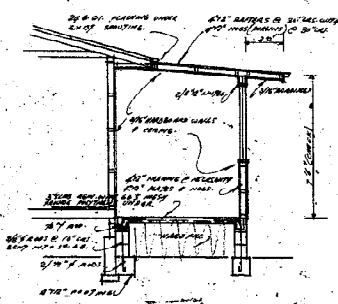
10823



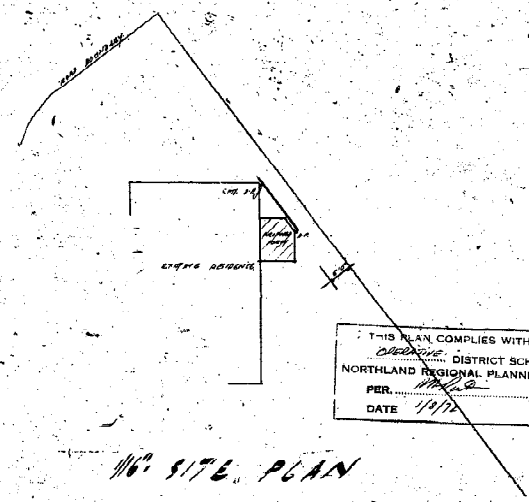
1/4" ELEVATIONS



1/4" FLOOR PLAN



1/4" SECTION



1/4" SITE PLAN

THIS PLAN COMPLIES WITH THE
 DISTRICT SCHEME
 NORTHLAND REGIONAL PLANNING AUTHORITY.
 PER. 11/11/72
 DATE 11/11/72

NOTE: ALL MEASUREMENTS TO BE VERIFIED ON JOB

PROPOSED ENCLOSED PORCH AT 1 BUTLER PLACE FOR MR & MRS PAUL

BRENT ROBINSON
 DESIGN SERVICES LTD.
 87 DENBY CRESCENT, WHANGAREI : PHONE 73-508

SCALE
 1/4" = 1'-0"

PLAN NO
 1658

G-104671

WHANGAREI CITY COUNCIL

10823

7138

BUILDING APPLICATION FORM

Date 1 Sept 1975

Please Note that any person wishing to take a vehicle over footpath, other than a proper crossing constructed for such purpose, shall apply to Council for a permit to do so and shall pay a fee of \$20.

To: The City Inspector,

Sir,

I hereby apply for permission to extend the lounge at 1 Butler Place for R. & M.B. Paul (House Number and Street) (Owner) of 1 Butler Place (Address), according to locality plan and detail plans, elevations cross-sections and specifications of building deposited herewith in duplicate.

PARTICULARS OF LAND:

LENGTH OF BOUNDARIES:

Assess. No. 77/103/1 Lot No. 5 D.P. 489.57 Allotment No. Front Back Side Area Side

PARTICULARS OF BUILDING:

Foundations Floors Walls Roofs Area of Ground Floor 48 square feet (metres) Area of Outbuildings square feet (metres) Number of Storeys: Above kerb level Below kerb level Average distance of set back of front of buildings from street boundary line

ESTIMATED VALUE:

Table with 2 columns: Description (Building, Sanitary Plumbing and Drainage, Total) and Amount (\$500 : 00)

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) Lounge extension

Proposed use or occupancy of other parts of buildings

Nature of ground on which building is to be placed and on the subjacent strata

Yours faithfully,

R. Paul (Signature)

Owner

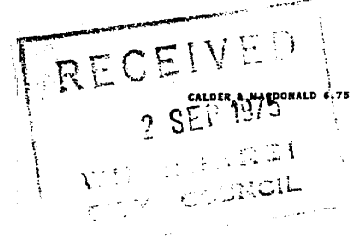
Builder's Postal Address:

12 Edge Rd, Onekaka

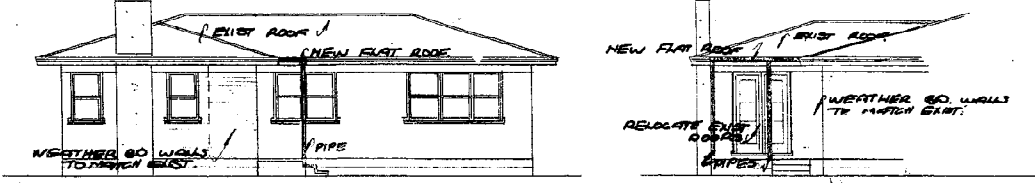
A. B. Martin (Signature)

Builder

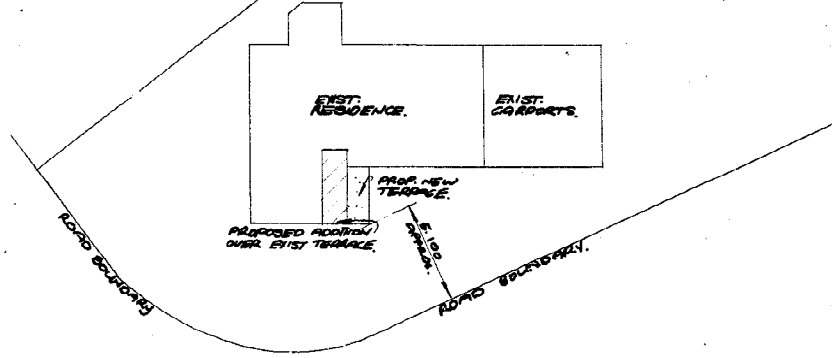
Builder's Phone 800962



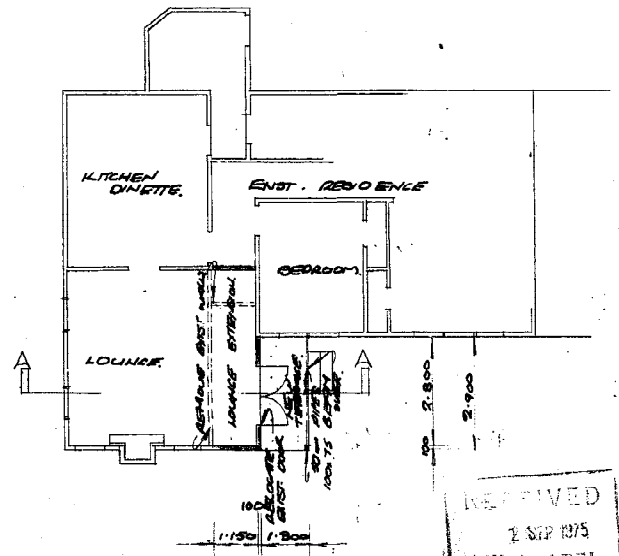
10823



E L E V A T I O N S

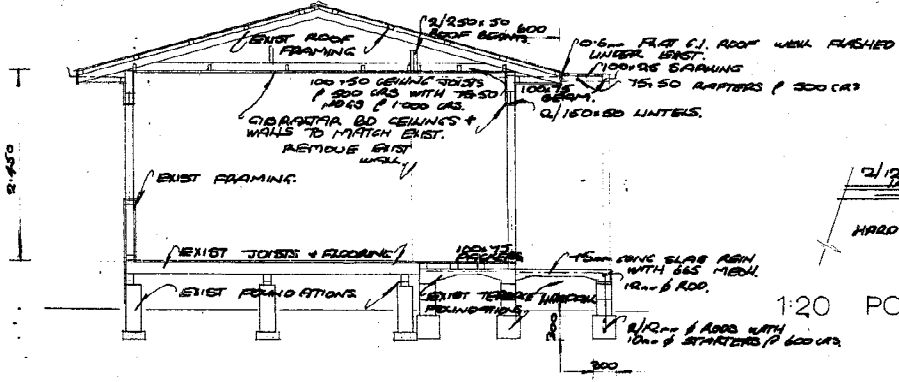


1:200 SITE PLAN

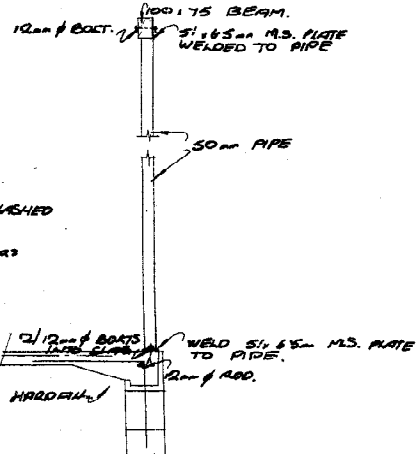


FLOOR PLAN

RECEIVED
2 SEP 1975
WHANGAREI
CITY COUNCIL



1:50 SECTION A/A



1:20 POST & BEAM FIXING DETAIL

NOTE ALL MEASUREMENTS TO BE VERIFIED ON JOB

BRENT ROBINSON
DESIGN SERVICES LTD.
27 WESSLEY DRIVE, HAMILTON

PROPOSED ADDITION TO RESIDENCE AT 1 BUTLER PLACE FOR MR. R. PAUL				SCALE	PLAN NO.
				1:20 1:50 1:100 1:200	2765

1044479

13/12

WHANGAREI CITY COUNCIL

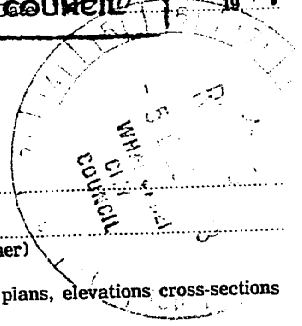
7138

RECEIVED

- 5 DEC 1978

BUILDING APPLICATION FORM WHANGAREI CITY COUNCIL

Please Note that any person wishing to take a vehicle over footpath, other than a proper crossing constructed for such purpose, shall apply to Council for a permit to do so and shall pay a fee of \$100.00



To: The Director of Engineering,

Sir,

I hereby apply for permission

at No 5 Birkbeck Place for R. Paul (Owner)

of above according to locality plan and detail plans, elevations cross-sections (Address)

and specifications of building deposited herewith in duplicate.

PARTICULARS OF LAND :

LENGTH OF BOUNDARIES :

Assess. No. 77/103/1
Lot No. 5
D.P. 48957
Allotment No.

Front
Back
Side Area
Side

PARTICULARS OF BUILDING :

Foundations concrete
Walls of blocks x 100 x 50
Area of Ground Floor
Area of Outbuildings
Number of Storeys: Above kerb level
Average distance of set back of front of buildings from street boundary line

Floors concrete
Roofs concrete
square feet (metres)
square feet (metres)
Below kerb level

ESTIMATED VALUE :

Building \$ 2100 : 00
Sanitary Plumbing Drainage \$:
Total \$ 2100 :

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose)

Proposed use or occupancy of other parts of buildings

Nature of ground on which building is to be placed and on the subjacent strata

Yours faithfully,

Builder's Postal Address :

Ideal Garages/NTM/CO
P.O. Box 6 Wai

Builder's Phone 89737

Owner
Builder

SECTION E-E

10823

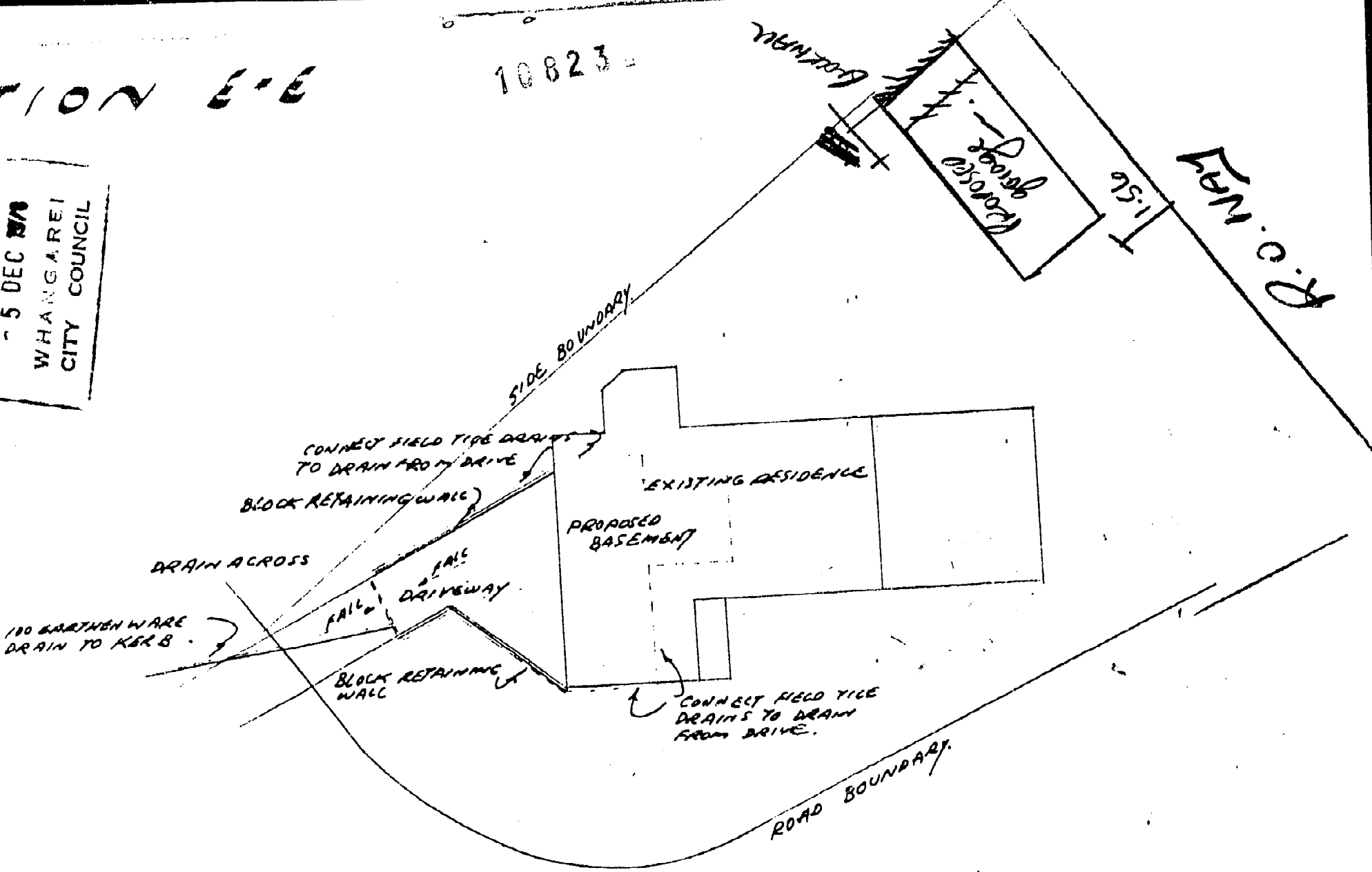
MAIN ROAD

Proposed garage

1:50

R.O. WAY

RECEIVED
5 DEC 88
WHANGAREI
CITY COUNCIL



100 BARTHEN WARE
DRAIN TO KERB

CONNECT FIELD TIE DRAINS
TO DRAIN FROM DRIVE
BLOCK RETAINING WALL

EXISTING RESIDENCE
PROPOSED BASEMENT

BLOCK RETAINING WALL

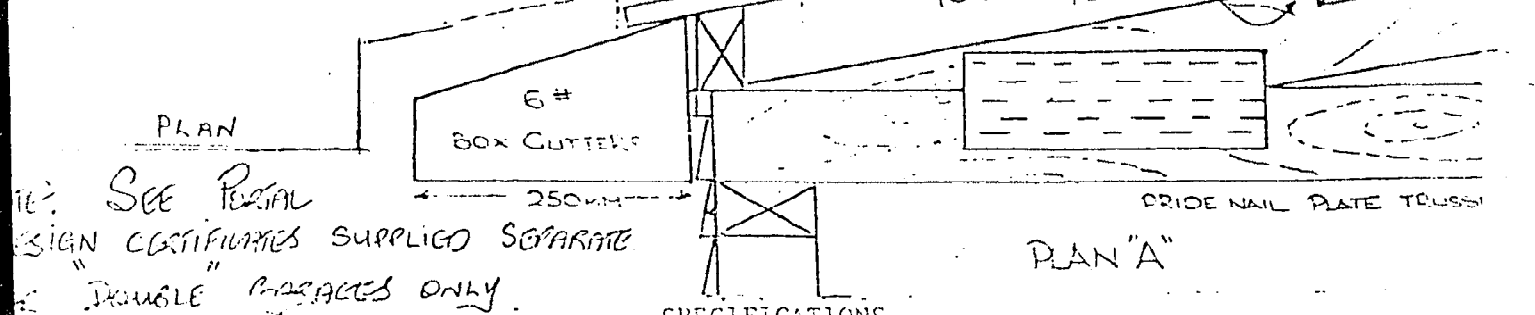
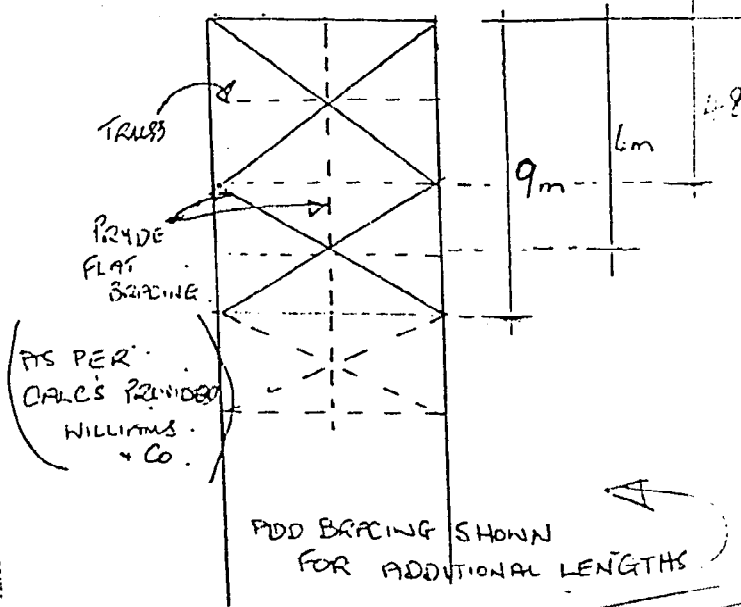
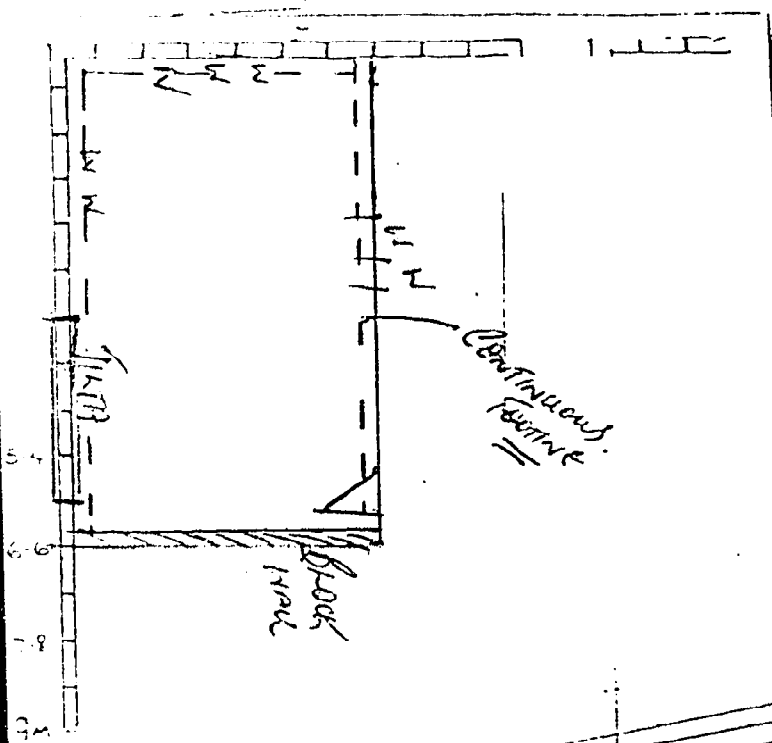
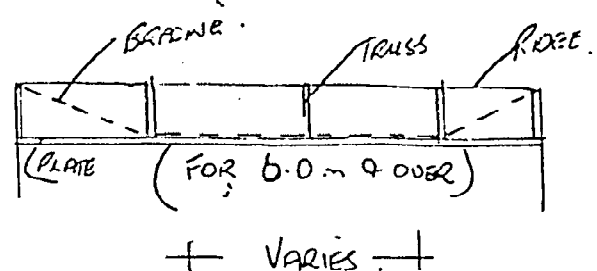
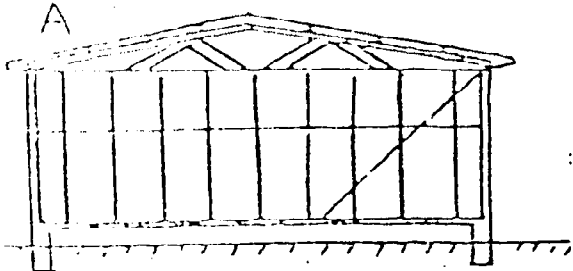
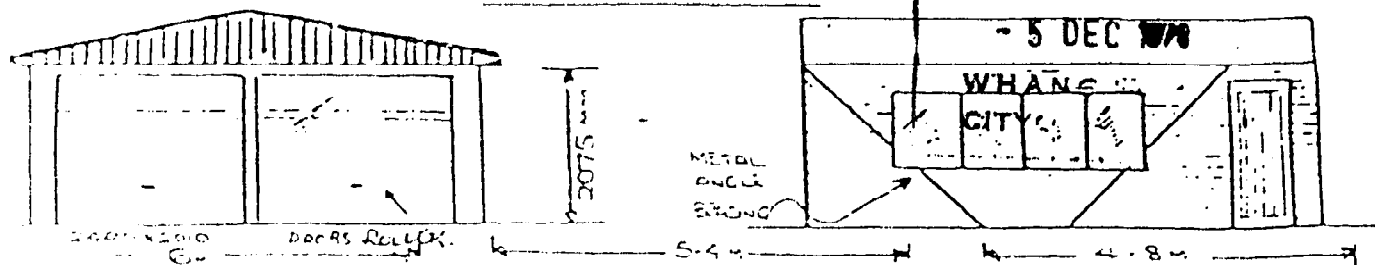
CONNECT FIELD TIE
DRAINS TO DRAIN
FROM DRIVE

ROAD BOUNDARY

10823

SIZE 6.6x7.2

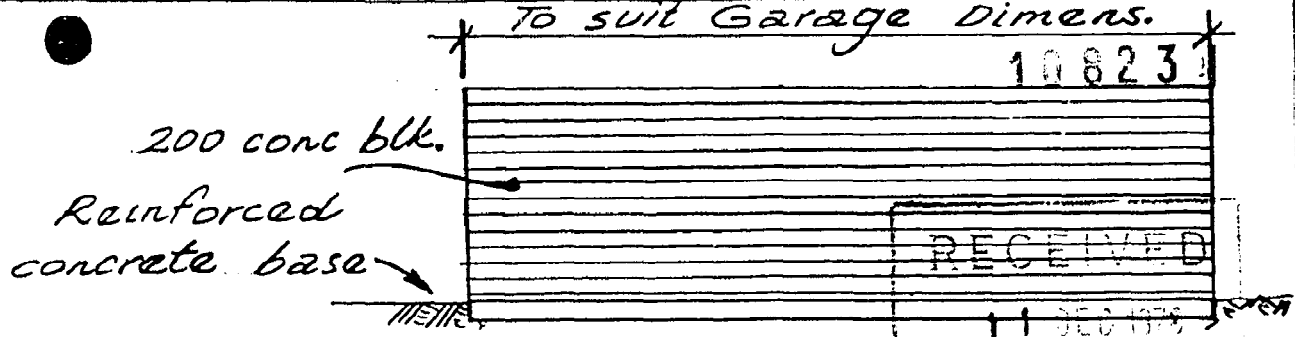
ELEVATION



See PERIAL DESIGN CERTIFICATES SUPPLIED SEPARATE FOR "DOUBLE" GARAGES ONLY.

SPECIFICATIONS

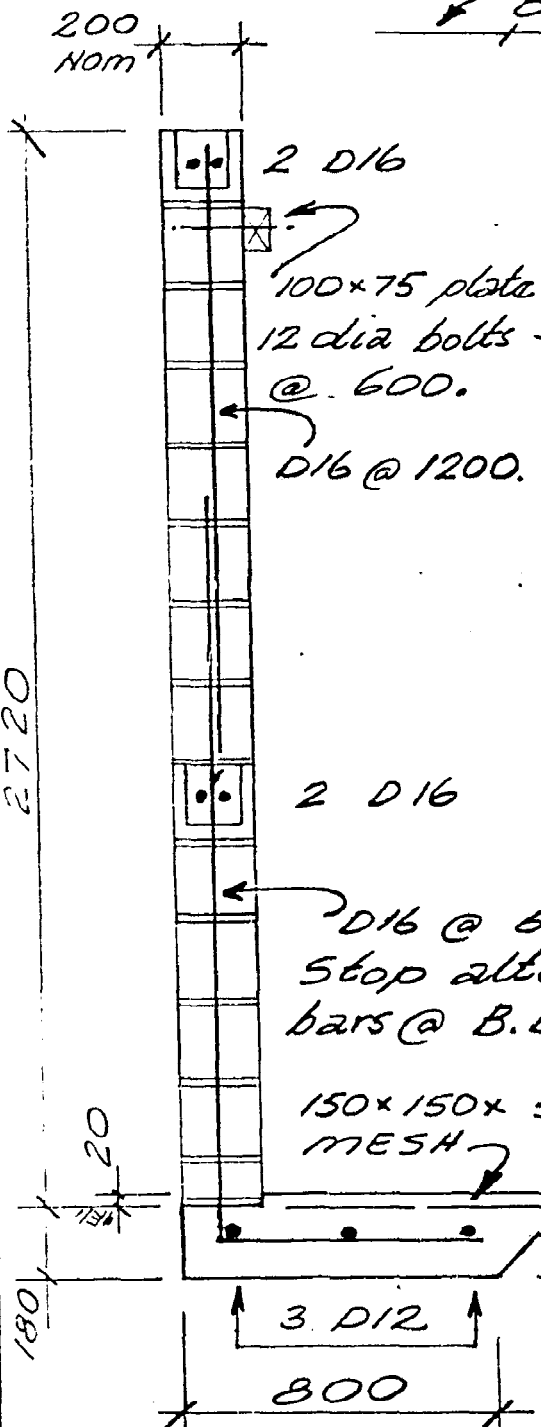
Foundation	200mm x 200mm Concrete Blocks @ 1200mm No. 8 wire ties Concrete Slab, Nib Wall No. 8 wire ties.
Plates	100mm x 50mm B.T. Rad. 150mm clear of ground.
Studs	100mm x 50mm B.T. Rad. @ 600mm CRS.
Nogs	100mm x 50mm B.T. Rad. 1 Row
Dragon Ties	75mm x 50mm B.T. Rad. All External Corners. (up to 6m walls only)
Ridge Braces	75mm x 50mm B.T. Rad. each end



WALL ELEVATION

RECEIVED
 108231
 WHANGAREI
 CITY COUNCIL

Boundary.



WALL PLAN

SPECIFICATION FOR STANDARD BLOCK BOUNDARY WALL.

SPECIFICATION:

General:- All workmanship shall conform with NZS 1900 Chapter 6.2.

Materials:- Concrete blocks shall conform with NZS 3102P. Cement shall be Ordinary Portland to NZS 3122. Sand shall be sharp and clean conforming to NZS 2129 & NZS 3121. Water shall be taken from the Municipal Water supply. Reinforcing steel shall conform to NZS 3402 minimum yield strength 276 MPa. Mortar shall be No.1 mortar 1:1/2-2:3-4 1/2. Grout shall have a minimum strength at 28 days of 17 MPa, and shall conform with NZS 1900 Chapter 9.3A.

Grouting:- Clean out all cells to be filled with grout. Fill all designated cells and bond beams completely. Lifts of grout shall not exceed six courses (1200mm) unless a grout pump and hose is used.

Control Joints:- Vertical control joints shall be spaced at not more than 5m centres.

Excavation:- Foundations shall be taken down below topsoil to firm undisturbed soil with a bearing capacity of not less than 50 kPa.

WALL SECTION

TAPPER COTTER BROWN & PARTNERS CONSULTING ENGINEERS			Project No. 1746/	STANDARD BOUNDARY WALL • IDEAL GARAGES For - MR R. PAUL 1 Butler Place, KAMO.
AUCKLAND BOX 5613 TEL. 379 543	WHANGAREI BOX 782 TEL. 83 661	HAMILTON BOX 1317 TEL. 81 213	Sheet No. /	
J.W.B.			K...	Scale 1:100 1:20 DEC 78

H93110

7138

1 SEP 1978

WHANGAREI CITY COUNCIL

1 Sept 1978

BUILDING APPLICATION FORM

Date: 1 Sept 1978

Please Note that any person wishing to take a vehicle over footway other than a proper crossing constructed for such purpose, shall apply to Council for a permit to do so and shall pay the appropriate deposit.

234

To: The Director of Engineering,

Sir,

I hereby apply for permission to build a basement
at 1 Butler Place for R & M. B. Paul
(House Number and Street) (Owner)
of 1 Butler Place according to locality plan and detail plans, elevations cross-sections
(Address)

and specifications of building deposited herewith in duplicate.

PARTICULARS OF LAND:

LENGTH OF BOUNDARIES:

Assess. No. 77/103/1 Front
Lot No. 5 Back
D.P. 48957 Side Area
Allotment No. Side

PARTICULARS OF BUILDING:

Foundations concrete piles Floors wood
Walls concrete block Roofs iron
Area of Ground Floor (Metres)
Area of Basement 31 m² (Metres)
Area of first Floor or Mezzanine (Metres)
Area of Outbuildings (Metres)
Number of Storeys: Above kerb level Below kerb level

ESTIMATED VALUE:

Building \$ 3900 :
Sanitary Plumbing Drainage \$ 100 :
Total \$ 4000 :

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) Storage, garage & private workshop

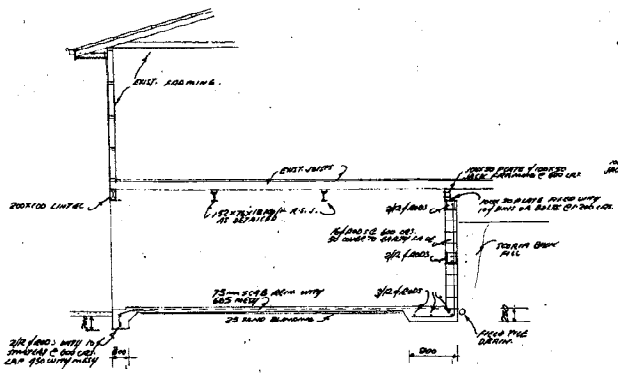
Proposed use or occupancy of other parts of buildings

Nature of ground on which building is to be placed and on the subjacent strata

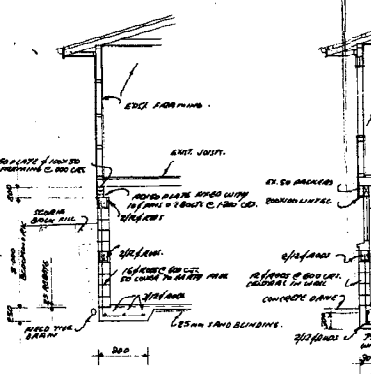
PLEASE PRINT	Yours faithfully,
Builder's Postal Address: (please Print)	Owner
<u>1 Butler Place</u>	Builder
<u>Kamo.</u>	
Builder's Phone <u>57122</u>	<u>R. Paul</u> Signature

10823

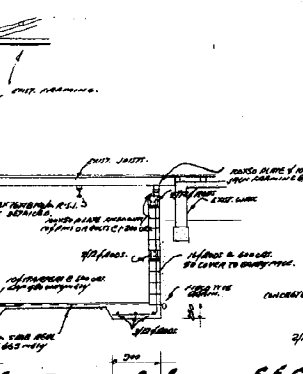
RECEIVED
- 1 SEP 1978
PART 1



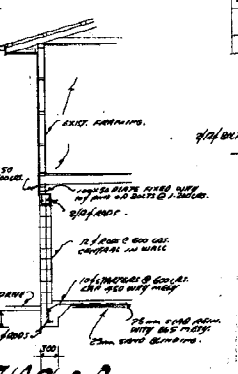
SECTION A-A



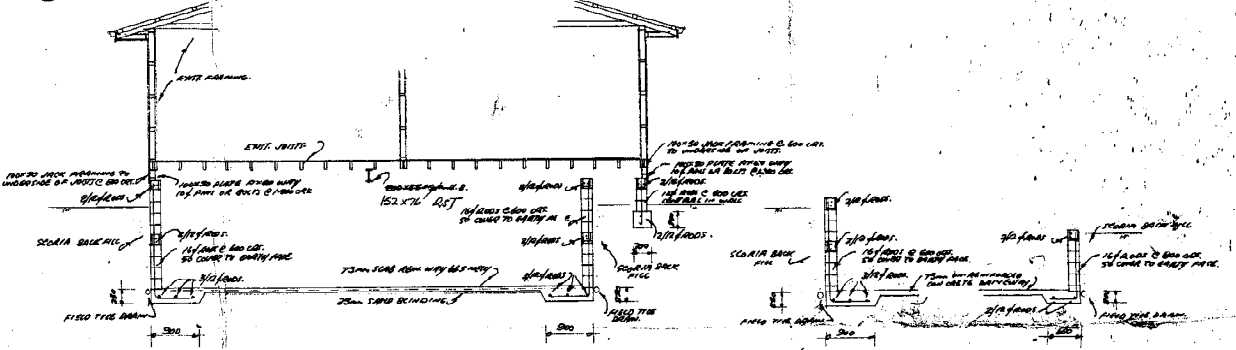
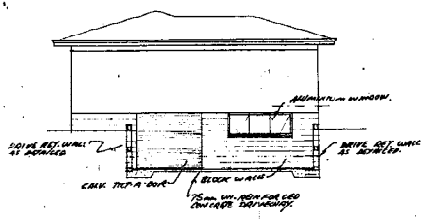
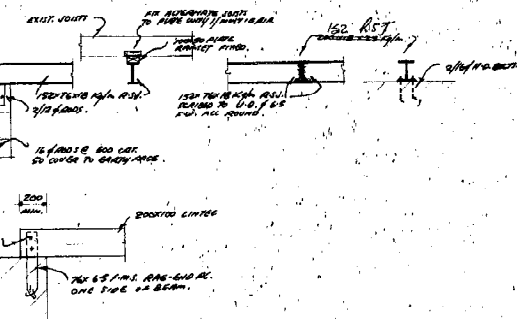
SECTION C-C



SECTION B-B

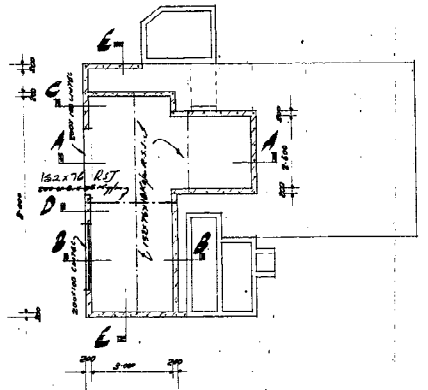


SECTION D-D

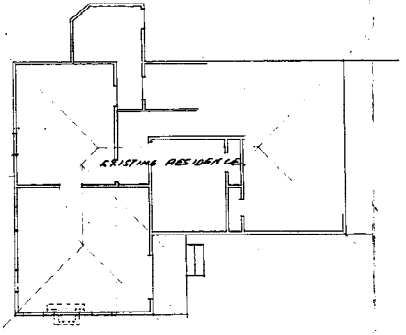


SECTION E-E

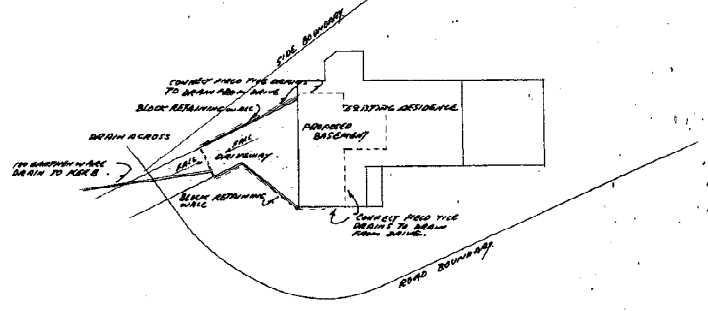
TYPICAL SECTIONS THRU DRIVEWAY RET. WALLS



BASEMENT PLAN



EXISTING FLOOR PLAN

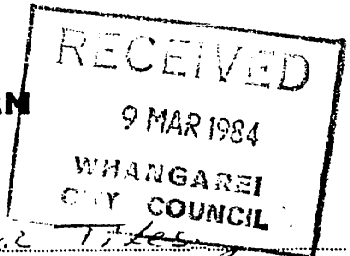


This drawing is in accordance with my calculations where applicable.
Robt. C. Leese, Consulting Engineer,
Vice Street, Whanganui.
per R. C. Leese
Registered Engineer

NOTE: ALL MEASUREMENTS TO BE VERIFIED ON JOB

B084150
PERMIT NUMBER
21-3-84

7138
FILE NUMBER 133



BUILDING APPLICATION FORM

Please Note that any person wishing to take a vehicle over footway other than a proper crossing constructed for such purpose, shall apply to the Council for a permit to do so and shall pay the appropriate deposit.

To: The CITY Engineer

I hereby apply for permission to Mr R. M. Butler for Mr R. M. Butler
at 1 Butler Place (House Number and Street) Kamo (Owner)
of 1 Butler Place (Address) according to locality plan and detail plans, elevations

cross-sections and specifications of building deposited herewith in duplicate

PARTICULARS OF LAND:

LENGTH OF BOUNDARIES:

Assess. No. 77/103/1 Front Area
Lot No. 5 Back
D.P. 68957 Side Side

PARTICULARS OF BUILDING:

Foundations Floors
Walls Roofs
Area of Ground Floor (Metres) Area of First Floor or Mezzanine (Metres)
Area of Basement (Metres) Area of Outbuildings (Metres)
Number of Storeys: Above kerb level Below kerb level
Average distance of set back of front of buildings from street boundary line

ESTIMATED VALUE:

Building \$ 4500
Sanitary Plumbing \$
Sanitary Drainage \$
Total \$ 4500

OFFICE USE ONLY

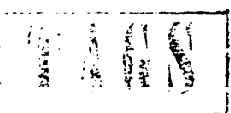
FEEES PAID BY OWNER/BUILDER/OWNER'S AGENT

Proposed purpose for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose)

Proposed use or occupancy of other parts of buildings

Nature of ground on which building is to be placed and on the subjacent strata

PLEASE PRINT		OWNER'S AGENT	
OWNER	BUILDER	NAME	SIGNATURE
NAME <u>R. Butler</u>	NAME <u>Blumier Roofing</u>	NAME	
POSTAL ADDRESS <u>1 Butler Place</u> <u>Kamo</u>	POSTAL ADDRESS <u>P.O. Box 780</u> <u>Whangarei</u>	POSTAL ADDRESS	
PHONE <u>51122</u>	PHONE <u>83455</u>	PHONE	
Date <u>9-3-84</u>			<u>R. Butler</u>



DO50017
PERMIT NUMBER

14 4 86

1314
WHANGAREI CITY COUNCIL

7138
FILE NUMBER

BUILDING APPLICATION FORM

Please Note that any person wishing to take a vehicle over footway other than a proper crossing constructed for such purpose, shall apply to the Council for a permit to do so and shall pay the appropriate deposit.

RECEIVED
10/4/86
WHANGAREI CITY COUNCIL

To: The CITY Engineer

I hereby apply for permission to Install Kent Logfire
at 1 Butler Place for Mr Paul
(House Number and Street) (Owner)
of Whangarei according to locality plan and detail plans, elevations
(Address)

cross-sections and specifications of building deposited herewith in duplicate.

PARTICULARS OF LAND:

Assess. No. 711/55
Lot No. 5
D.P. 48957

LENGTH OF BOUNDARIES:

Front Area
Back
Side Side

PARTICULARS OF BUILDINGS:

Foundations Floors
Walls Roofs
Area of Ground Floor (Metres) Area of First Floor or Mezzanine (Metres)
Area of Basement (Metres) Area of Outbuildings (Metres)
Number of Storeys: Above kerb level Below kerb level
Average distance of set back of front of buildings from street boundary line

ESTIMATED VALUE:

Buildings \$
Sanitary Plumbing ... \$
Sanitary Drainage ... \$
Total \$ 1025 :00

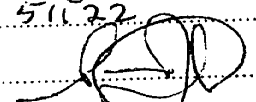
OFFICE USE ONLY

FEES PAID BY OWNER/BUILDER/OWNER'S AGENT

Proposed purpose for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose)

Proposed use or occupancy of other parts of buildings

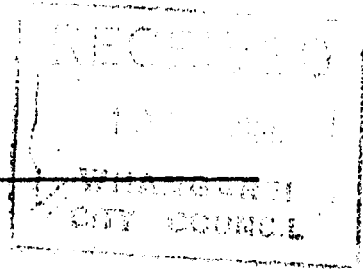
Nature of ground on which building is to be placed and on the subjacent strata

PLEASE PRINT OWNER	BUILDER	OWNER'S AGENT
NAME <u>Mr & Mrs Paul</u>	NAME <u>D & M Heating</u>	NAME
POSTAL ADDRESS <u>1 Butler Place</u>	POSTAL ADDRESS <u>P.O. Box 1602</u>	POSTAL ADDRESS
<u>Whangarei</u>	<u>Whangarei</u>	
PHONE <u>51122</u>	PHONE <u>52656</u>	PHONE
Signature 		Date <u>10/4/86</u>

Whangarei Print

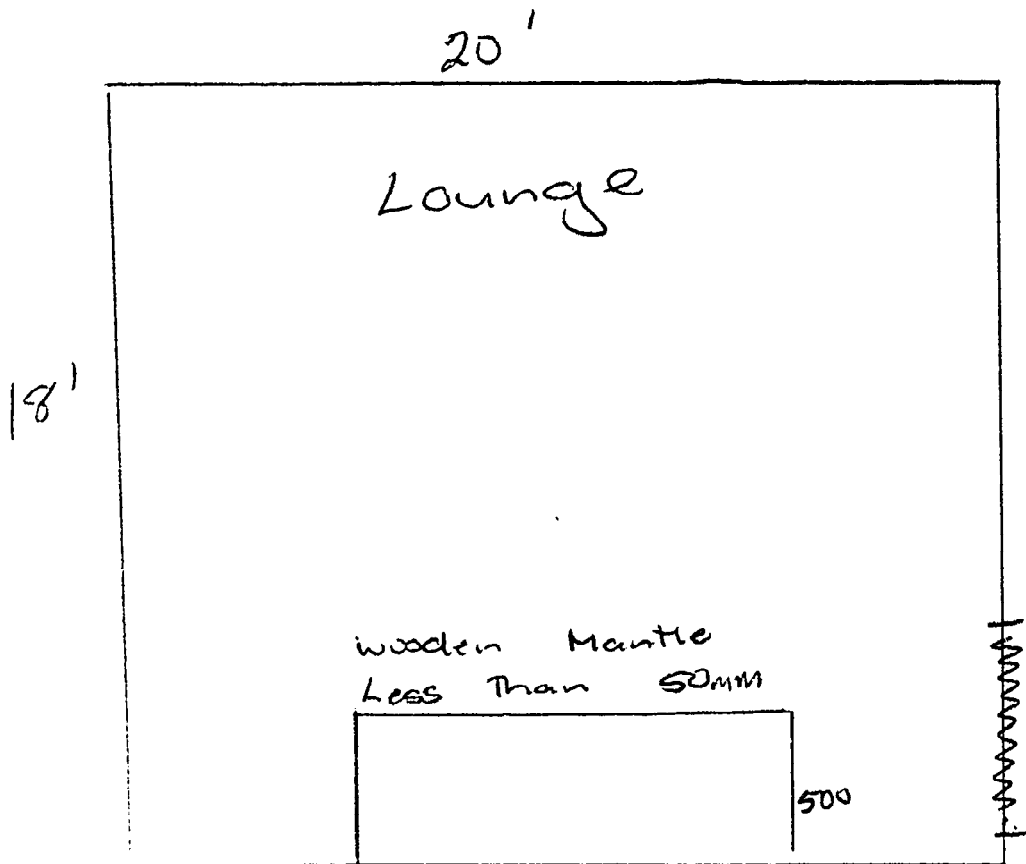
TAGS

10823



'Paul' Floor Plan for

Kent Logfire Installation



INSTALLATION INSTRUCTIONS



RECEIVED

10 APR 1986

WHANGAREI
CITY COUNCIL

GENERAL:

- 1) **SITING:** The Log Fire must be installed in a chimney which complies with NZS 1900: (Chapter 7) or as directed by the local Building Inspector.
- 2) **CLEARANCES:** The following clearances must be observed:
- (a) **Hearth** — Must extend at least 300mm in front of the heater. Must extend 125mm on each side of the heater. Must be of incombustible material giving heat resistance equivalent to concrete or brick at least 50mm thick.
- (b) **Mantle** — Must be at least 500mm above top of heater (unless narrow and protrudes less than 50mm in front of fireplace surround.)
All timber must be at least 50mm clear of brickwork and fireplace.

NOTE:

- For installation outside N.Z. check with the local authority for installation requirements.
- You may require the following extra components to complete the installation:
 - 1 x Kent Log Fire flue kit
 - 1 x Spacer Frame (for shallow fireplace installation)
 - 1 x Length of high temperature fibreglass rope approx. 3m long
 - 1 x tin of flue seal compound
 - PK screws as required.
 - Extra lengths of flue and flue casing as required
 - 2 x stainless 150mm bends, depending on fireplace depth
 - 1 x chimney flashing plate
 - 1 x sheet of metal or incombustible material if fireplace opening is too large
 - Cement mix to level hearth if required
 - Caulking Compound

1. PRE INSTALLATION:

- (a) Check that fireplace clearances are as above
- (b) Obtain Building Permit (if required by local authority)
- (c) Advise your Insurance Company of your intention to install the Log Fire
- (d) Sweep chimney and check for soundness (make good if required prior to installation)
- (e) Check chimney terminates at least 600mm above the ridge if not, extra flue lengths and flue casing will be needed.

2. FIREPLACE MODIFICATIONS:

- (a) Measure height, depth and width of fireplace opening to ensure unit will fit, and to determine how much brickwork needs removal. (Heater must overlap the fireplace opening by at least 25mm).
- (b) Check joint between the fireplace surround and chimney to ensure that the seal is still sound. If necessary, make good.
- (c) Remove bricks as required.
- (d) Clean rubble from bottom of fireplace and check for trueness with spirit level.
- (e) Level bottom of fireplace, if required. (Allow new slab to cure for several days).

NOTE:

- Steps (d) and (e) are important as any irregularities can cause air leaks, which may allow warm room air into the chimney.
- (f) If fireplace opening needs reducing in size to permit the required 25mm overlap as in 2(a), cut a cover plate of appropriate size from sheetmetal or other non-combustible material. (Do not fit to fireplace at this stage).
- (g) Check to ensure flue spigot aligns with chimney opening. If not, one or two stainless 150mm flue bends may be required.

NOTE:

- These should be the only flue bends used in the installation.

3. FLUE INSTALLATION:

NOTE:

- In New Zealand, the flue kit consists of 4.16m of 152mm stainless steel flue. If the flue is to be of a greater height than this, extra lengths will be required.
- If the flue is to extend above the chimney, a suitable length of 250mm flue casing must be used to shield the exposed flue from the atmosphere.
- With the exception of the optional flue bends mentioned in 2(g), the flue must run directly from the flue stub, vertically and without bends or doglegs, for the full height of the chimney.

Operative District Plan - Environments



0 4.5 9 18 27 36 m

Thursday, March 24, 2022

Scale: 1:500









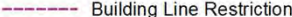
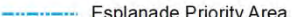









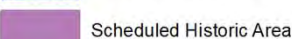
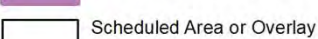
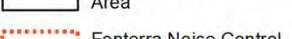


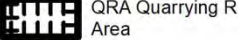

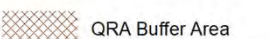
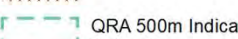
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Operative District Plan – Map Legend




Environment Maps

 Northpower Critical Overhead Lines CEL	 Strategic Rural Industry
 Northpower Critical Underground Lines CEL	 Fonterra Kauri Milk Processing SRIE – Ancillary Irrigation Farms
 Multi Title Site	 Business 1
 Rescue Helicopter Flight Path	 Business 2
 State Highway	 Business 3
 Arterial Road	 Business 4
 Collector Road	 Town Basin
 Local Road	 Port Nikau
 Designation	 Marsden Point Port
 Scheduled or Overlay Area: S# label	 Airport
 Oil Refinery Overlay	 Living 1
 Living Overlay	 Living 2
 Rural (Urban Expansion)	 Living 3
 Rural Living	 Kamo Walkability
 Rural Production	 Marsden Primary Centre
 Rural Village Centre	 Urban Transition
 Rural Village Industry	 Ruakaka Equine
 Rural Village Residential	 Open Space
	 Papakāinga <small>Rule PKA 1.5.1 indicative only, Maori Land Court data</small>
	 Future Marine Village
	 Future Environment <small>The colour indicates the particular environment</small>



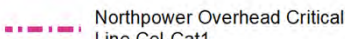
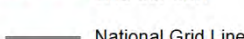
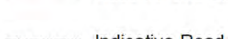
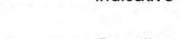
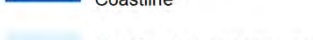
Resource Areas Maps

 Notable and Public Trees	 Coastal Area
 Heritage Buildings, Sites & Objects	 Outstanding Natural Feature
 Sites of Significance to Maori	 Outstanding Natural Landscape
 Building Line Restriction	
 Esplanade Priority Area	
 Runway	
 Air Noise Boundary	
 Outer Control Boundary	
 Coastal Hazard 1	
 Coastal Hazard 2	
 Flood Susceptible Areas	
 Mining Hazard Area 1	
 Mining Hazard Area 2	
 Mining Hazard Area 3	
 Scheduled Historic Area	
 Scheduled Area or Overlay Area	
 Fonterra Noise Control Boundary	
 Helicopter Hovering Area	
 QRA Quarrying Resource Area	
 QRA Mining Area	
 QRA Buffer Area	
 QRA 500m Indicative Setback	
 Goat Control Areas	

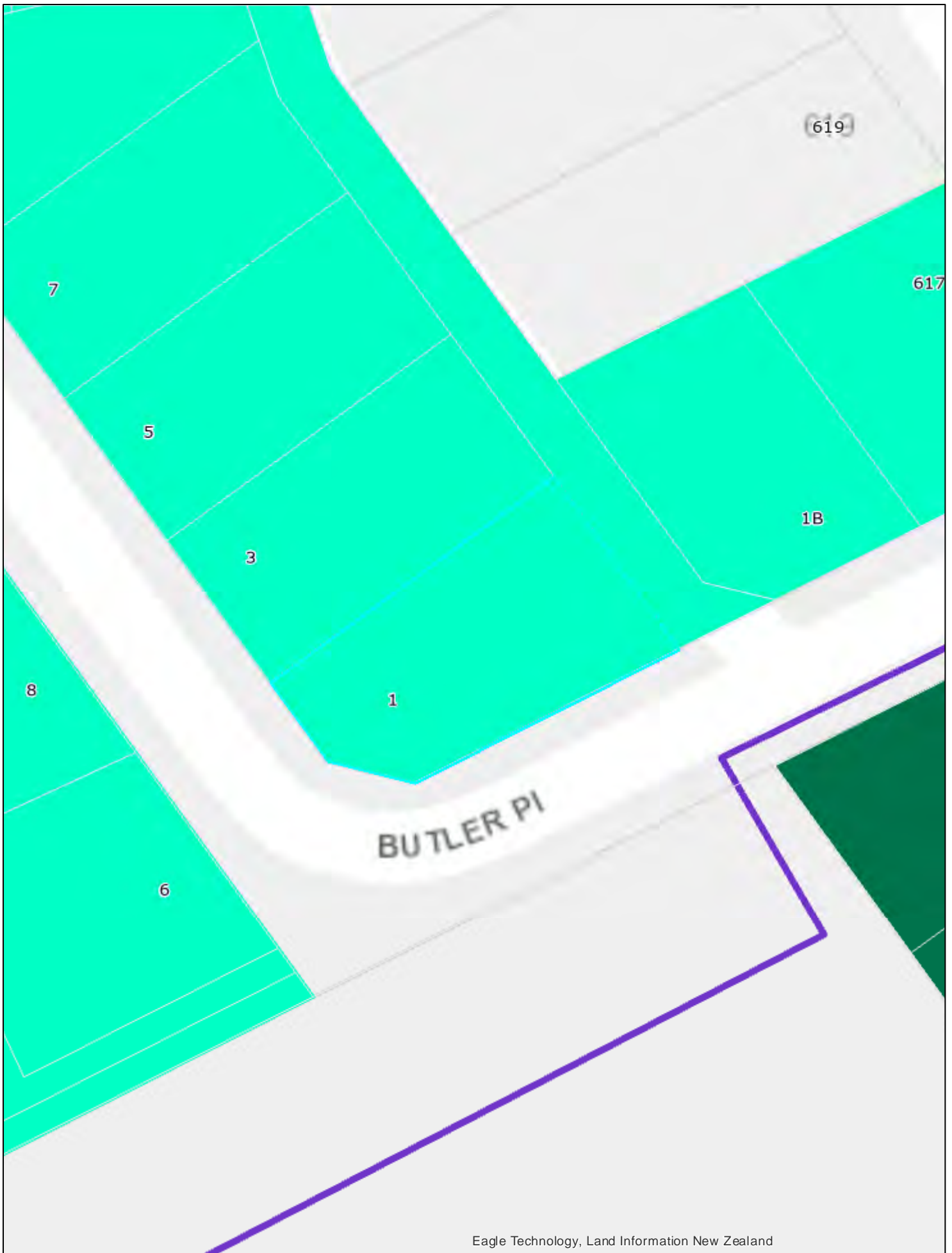
Coastal Areas Maps

 Coastal Area
 Outstanding Natural Character Area
 High Natural Character Area

All District Plan Maps

 Northpower Tower CEL-Cat1
 National Grid Tower
 Northpower Overhead Critical Line Cel-Cat1
 National Grid Line
 Indicative Road
 Coastline
 Coast, rivers and streams

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Eagle Technology, Land Information New Zealand

Precinct Map



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Friday, March 25, 2022



Scale: 1:500
Projection: NZGD2000 / NZTM 2000

Original Sheet Size 210x297mm

District Plan Appeals Version - Zones



0 4.5 9 18 27 36 m


Thursday, March 24, 2022

Scale: 1:500






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Zone Maps

 Northpower Critical Overhead Lines CEL	 Future Urban Zone
 Northpower Critical Underground Lines CEL	 Strategic Rural Industries Zone
 Multi Title Site	 Fonterra Kauri Milk Processing SRIZ – Ancillary Irrigation Farms
 Rescue Helicopter Flight Path	 Marsden Primary Centre
 Designation	 Ruakaka Equine Zone
 Papakāinga <small>Rule PKA 1.5.1 indicative only, Maori Land Court data</small>	 Neighbourhood Centre Zone
 Precincts and Development Areas	 Local Centre Zone
 Large Lot Residential Zone	 Commercial Zone
 Settlement Zone Residential Sub-Zone	 Shopping Centre Zone
 Settlement Zone Centre Sub-Zone	 Mixed Use Zone
 Settlement Zone Industry Sub-Zone	 Waterfront Zone
 Low Density Residential Zone	 City Centre Zone
 General Residential Zone	 Light Industrial Zone
 Medium Density Residential Zone	 Heavy Industrial Zone
 Rural Production Zone	 Airport Zone
 Rural Lifestyle Zone	 Hospital Zone
	 Port Zone
	 Development Area
	 Open Space Zone
	 Sport and Active Recreation Zone
	 Natural Open Space Zone

Appeals

 NZTA and KiwiRail
 Kainga Ora
 Other







Coastal Areas Maps

 Coastal Area
 Outstanding Natural Character Area
 High Natural Character Area

Resource Areas Maps

 Notable and Public Trees	 Flood Susceptible Areas
 Heritage Buildings, Sites & Objects	 Mining Hazard Area 1
 Sites of Significance to Maori	 Mining Hazard Area 2
 Runway	 Mining Hazard Area 3
 Air Noise Boundary	 Scheduled Historic Area
 Outer Control	 Fonterra Noise Control Boundary
 Esplanade Priority	 Helicopter Hovering Area
 Coastal Hazard 1	 QRA Quarrying Resource Area
 Coastal Hazard 2	 QRA Mining Area
 Strategic Railway Line Protection Area	 QRA Buffer Area
 Strategic Road Protection Area	 QRA 500m Indicative Setback
 Indicative Road	 Goat Control
Road Hierarchy	 Coastal
 National	 Outstanding Natural Feature
 Regional	 Outstanding Natural Landscape
 Arterial	
 Primary Collector	
 Secondary Collector	
 Low Volume	
 Access	

All District Plan Maps

 Northpower Tower CEL-Cat1
 National Grid Tower
 Northpower Overhead Critical Line Cel-Cat1
 National Grid Line
 Coastline
 Coast, rivers and streams

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APPLICATION FOR VARIATION OF BULK AND
LOCATION AND OFF-STREET PARKING REQUIREMENTS

Owner: R Paul

Site File: 2860

Address: 1 Butler Place (Lot 5 DP 48957)

Date: 30/1/79

Proposal: A waiver application for a building permit to erect a garage workshop that would intrude on one boundary into a prescribed 3.0 metres side yard up to the boundary and into another similar yard by 1.44 metres

Inspecting Officer's Report:

The property is a corner site of 26.5 perches located in a "Residential A" zone in Council's Operative District Scheme and in a "Residential A" zone in Council's District Scheme Review.

In terms of Section 76 of the Town and Country Planning Act 1977 I consider both conditions precedent for approval are satisfied. The required necessary modifications are accordingly recommended for approval.

The written consent of the affected property owner has been submitted with the application.

Recommendation:

That the application for modification of bulk and location requirement be approved subject to:-

- a) Compliance with all relevant Acts, By-laws and Regulations.
- b) The understanding that the question of the right to use the right-of-way for access to the garage is purely a matter for settlement between the owner of the right-of-way and Mr Paul, and the Council have no responsibility to take a part in this matter.
- c) That the approval shall lapse after the expiration of two years from the date when the approval was given.

Council Decision: APPROVED
~~NOT APPROVED~~

W. Taylor
DIRECTOR OF PLANNING
per:



J E G Peters

Signed: Date: 31-1-79
(Acting Under Delegated Authority)

Applicant's plans and original copy of this decision forwarded to local authority.

Date: 1/2/79