



**LAND INFORMATION MEMORANDUM NO: LM2001049**

**Received: 06 Oct 2020**

**Issued: 16 Oct 2020**

**Section 44A, Local Government Official Information  
And Meetings Act 1987**

**Applicant**

Harcourts Real Estate - Deb Smith  
33-35 Robert Street  
Whangarei 0110

**Site Information**

Property ID: 16385  
Street Address: 26 Zealandia Street  
Whangarei 0112  
Legal Description: LOT 2 DP 48746

**This is a Land Information only**

**Full payment has been made for Land Information Memorandum**

**1: PROPERTY DETAILS.**

- \* Location Map.
- \* Aerial Photo.
- \* Deposited Plan: DP 48746 – Deposited 06/12/1960
- \* Record of Title: NA1923/15 – Date Issued 14/04/1961

**2: INFORMATION IDENTIFYING EACH (IF ANY) SPECIAL FEATURE OR CHARACTERISTIC OF THE LAND CONCERNED, INCLUDING BUT NOT LIMITED TO POTENTIAL EROSION, AVULSION, FALLING DEBRIS, SUBSIDENCE, SLIPPAGE, ALLUVION, OR INUNDATION, OR LIKELY PRESENCE OF HAZARDOUS CONTAMINANTS, BEING A FEATURE OR CHARACTERISTIC THAT IS KNOWN TO THE WHANGAREI DISTRICT COUNCIL.**

This property is located in an area that is included in a report by Tonkin & Taylor Ltd on stability hazard potential, see map attached and refer

<http://www.wdc.govt.nz/BuildingandProperty/Land-Hazards/Pages/Default.aspx>

- \* Stability Hazards map - showing low stability hazard.

Regional Policy Statement

The Regional Policy Statement's role is to promote sustainable management of Northland's natural and physical resources. It does this by:

- Providing an overview of the region's resource management issues; and
- Setting out policies and methods to achieve integrated management of Northland's natural and physical resources.

Refer

<https://www.nrc.govt.nz/resource-library-summary/plans-and-policies/regional-policy-statement>

**3: INFORMATION ON COUNCIL AND PRIVATE UTILITY (SEWERAGE, WATER & STORMWATER) SERVICES.**

Information relating to Council Utility Services for this property is attached.

- \* Pipeline Asset Services Map.

Service Sheets (e.g. As-Built, House Connection, House Drainage etc...) for this property from the building file is attached.

- Two House Connection Plans

For further information regarding Council Water Supply please refer

<http://www.wdc.govt.nz/WaterandWaste/Water/Pages/default.aspx>

**4: INFORMATION RELATING TO VALUATION, LAND, AND WATER RATES. INFORMATION FROM WHANGAREI DISTRICT COUNCIL RECORDS.**

Information on Valuation, Rates and water meter location (if applicable) for the current financial year, is attached.

Outstanding water balance as at today's date is \$804.60.  
A final reading of the water meter will be required.

**5: INFORMATION CONCERNING ANY PERMIT, CONSENT, CERTIFICATE, NOTICE ORDER, OR REQUISITION AFFECTING THE LAND OR ANY BUILDING ON THE LAND PREVIOUSLY ISSUED BY THE WHANGAREI DISTRICT COUNCIL OR BUILDING CERTIFIER (WHETHER UNDER THE BUILDING ACT 1991 AND/OR 2004 OR ANY OTHER ACT).**

After an extensive search of Council records, we were unable to locate any permit or plans for the original Dwelling.

Copy of Building Permits issued for this property are attached.

- Build Garage – Dated 15/10/1948
- Make Alterations and Re-block – Dated 28/05/1951
- Make Internal Alterations to House – Dated 27/06/1974
- Lower Laundry Ceiling and Line with Gib board – dated 28/05/1975
- Make Alterations & Additions to House – Dated 02/12/1980
- Erect a Garden Shed – Dated 28/03/1983

Copy of Building Consent and Code Compliance Certificate issued for this property are attached.

- BC0365526 – Wet Area Shower – Issued 28/05/2003
- Code Compliance Certificate – Issued 30/06/2003

Stormwater attenuation may be required on this property for new building work that results in an increase of > 30m<sup>2</sup> in impervious area including paving, driveways etc.

For the Stormwater Attenuation guidance notes refer  
<http://www.wdc.govt.nz/WaterandWaste/Stormwater/Stormwater-Attenuation/Pages/Default.aspx>

**6: INFORMATION RELATING TO THE USE TO WHICH THE LAND MAY BE PUT AND ANY CONDITIONS ATTACHED TO THAT USE.**

ENVIRONMENT:

Living 1 Environment, see map attached and refer to Part G Environments  
<http://www.wdc.govt.nz/PlansPoliciesandBylaws/Plans/DistrictPlan/Pages/Operative-DP.aspx>

Please note that this property is subject to Councils Decision - District Plan Environment, see map attached.

General Residential Zone

For any questions please contact the Policy Planner at 430 4200.

Urban areas within Whangarei District are currently going through a proposed plan change to create new zones in Whangarei's urban areas. Please see link below to see how this affects your property.

<https://planchanges.heretowhere.co.nz/>

This property is subject to the district plan change appeals process please refer to <http://www.wdc.govt.nz/PlansPoliciesandBylaws/Plans/DistrictPlan/DistrictPlanChanges/Pages/default.aspx>

For any questions please contact the Policy Planner at 430 4200 and quote ENV2020AKL.

This property has been the subject of an application under the Town & Country Planning Act, information attached.

SF 3712 – Erect Garden Shed – GRANTED 31/03/1983

**7: INFORMATION WHICH IN TERMS OF ANY OTHER ACT HAS BEEN NOTIFIED TO THE WHANGAREI DISTRICT COUNCIL BY ANY STATUTORY ORGANISATION HAVING THE POWER TO CLASSIFY LAND OR BUILDINGS FOR ANY PURPOSE.**

The Council is not aware of any classification attached to the land or buildings.

**8: OTHER INFORMATION CONCERNING THE LAND AS WHANGAREI DISTRICT COUNCIL CONSIDERS, AT COUNCILS DISCRETION, TO BE RELEVANT.**

Whangarei District Council recommends that all Whangarei district residents visit the Northland Regional Council website, [www.nrc.govt.nz](http://www.nrc.govt.nz) for information on Civil Defence hazard response. This information includes tsunami evacuation zones, maps and community response plans for flooding and extreme weather events etc.

Copies of site plan, floor plan and elevations are attached for your information.

**9: INFORMATION RELATING TO ANY UTILITY SERVICE OTHER THAN COUNCILS SUCH AS TELEPHONE, ELECTRICITY, GAS AND REGIONAL COUNCIL WILL NEED TO BE OBTAINED FROM THE RELEVANT UTILITY OPERATOR.**

Further information may be available from other authorities; Northland Regional Council; Northpower; Spark; Vector Limited; etc.

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## DISCLAIMER

Land Information Memoranda (LIM) are prepared under the provisions of Section 44A of the Local Government Official Information and Meetings Act 1987. An inspection of the land or building(s) has not been completed for the purposes of preparing the LIM. It has been compiled from the records held by Whangarei District Council. The information contained in the LIM is correct at the date the LIM report is issued.

A LIM is prepared for the use of the Applicant and may not be able to be relied on by other parties.

Advice from an independent professional such as a lawyer or property advisor should be sought regarding the contents of this LIM and the information contained herewith.

Additional information regarding the land or buildings (such as resource consents and other permissions and restrictions), which is not contained in this LIM, may also be held by the Northland Regional Council. The Northland Regional Council should be contacted for that information. Ph (09)4701200 or 0800 002 004 or [www.nrc.govt.nz](http://www.nrc.govt.nz)

A LIM is not a suitable search of Council's records for the purposes of the National Environmental Standards (NES) for soil contamination of a potentially contaminated site.

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Signed for and on behalf of Council:



Ashley Paikea  
Property Assessment Officer

# Property Map



- New Subdivisions**
-  Proposed Pre-223
  -  223 Certificate

New subdivisions: Proposed as accepted, pre-223 and 223 Certificate with set Conditions.

Land Parcel boundaries are indicative only and are not survey accurate. Area measurement is derived from the displayed geometry and is approximate. True accurate boundary dimensions can be obtained from LINZ survey and title plans

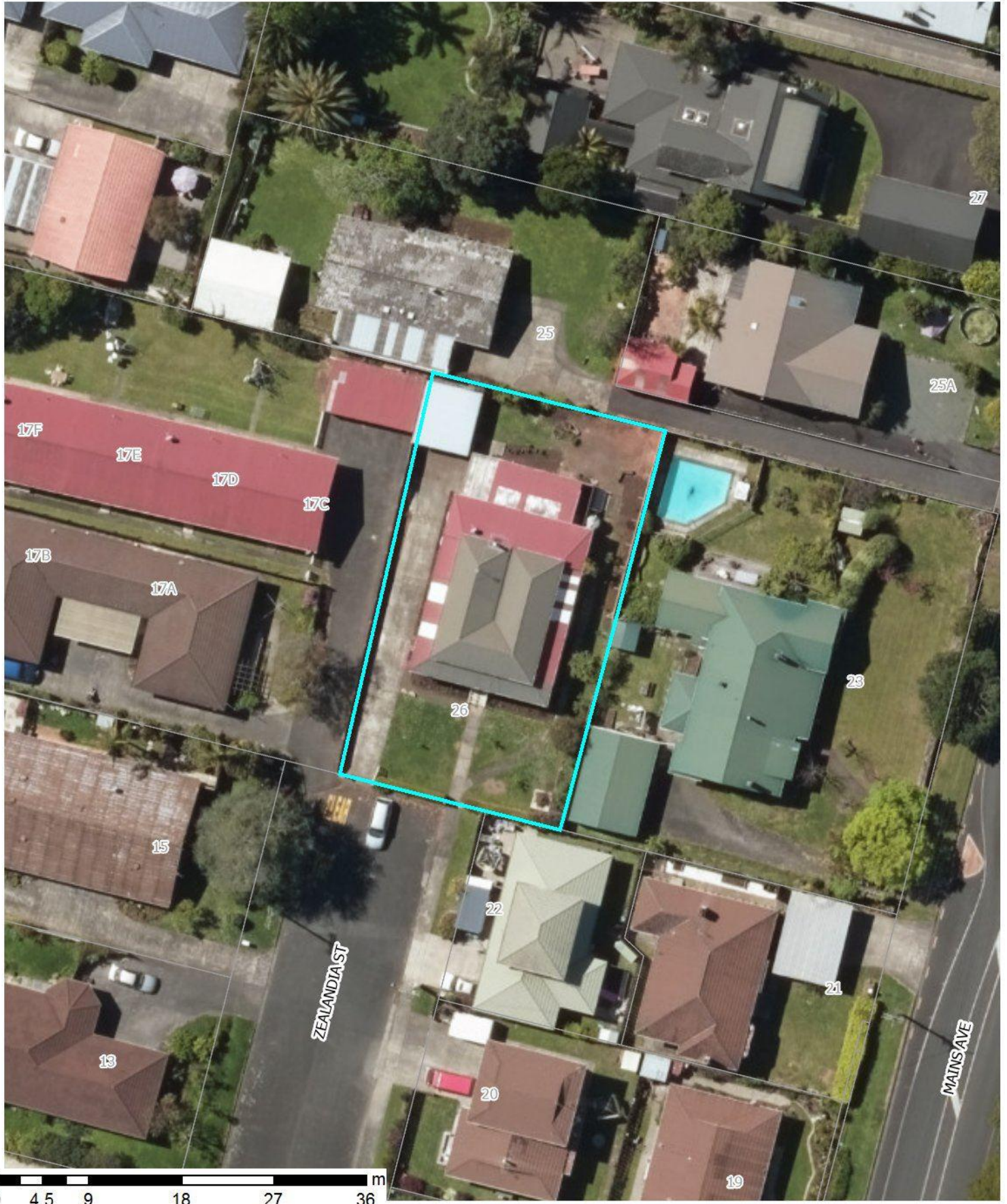
Thursday, October 15, 2020

Scale: 1:500



The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed. Cadastral Information has been derived from land Information New Zealand's (LINZ) Core Record System Database (CRS). CROWN COPYRIGHT RESERVED. © Copyright Whangarei District Council.

# Aerial Photography



Thursday, October 15, 2020

Scale:1:500

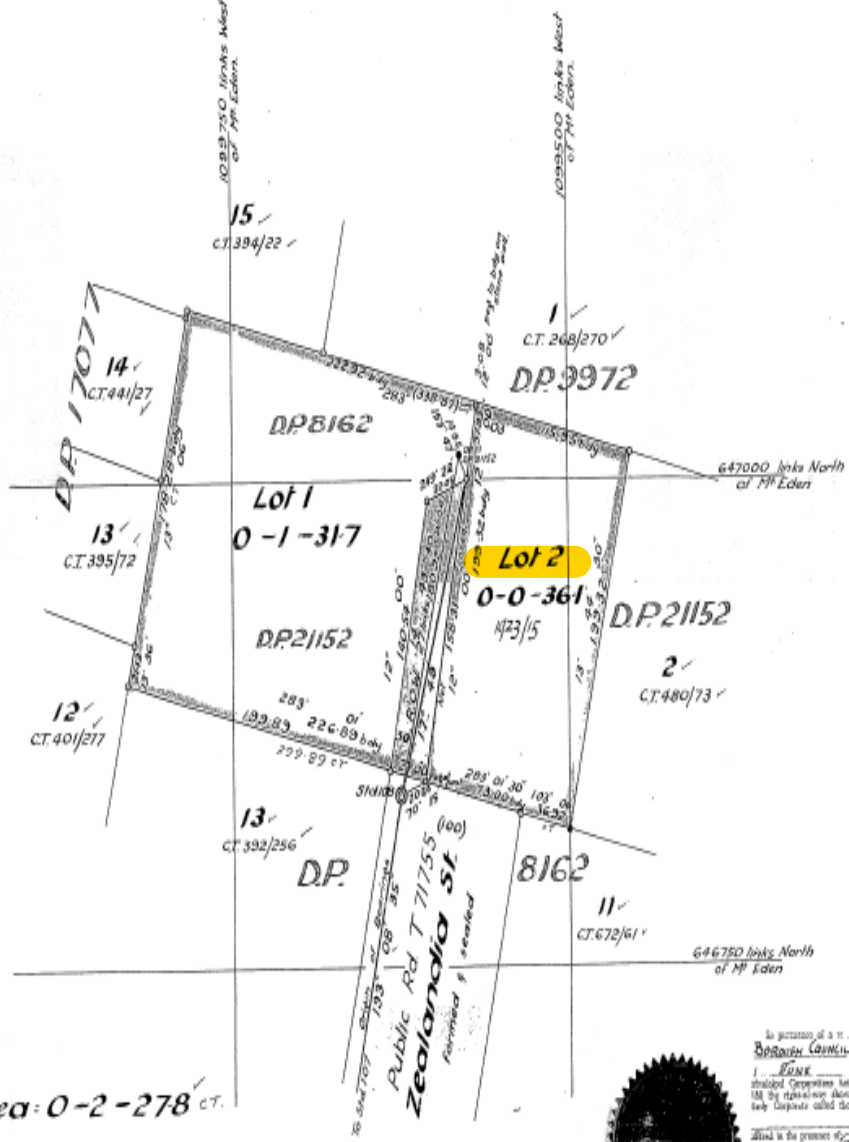


This map was last updated in 2018. It includes New Zealand's most current publicly owned aerial imagery and is sourced from the LINZ Data Service.

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**Land Transfer Office**  
 Received 3. 10. 60  
 Title Reference *C.T. 480/136 (All.)*  
 Referred to L. T. Surveyor 4. 10. 60  
 from D.P. 21152

Deposited this 6<sup>th</sup> day  
 of December 1960  
 W. B. Newman  
 District Land Registrar



Total Area: 0-2-278<sup>CT</sup>.

LAND & DEEDS	
Name	<i>Whangarei</i>
Plan	<i>0-0-361</i>
Date	<i>3 OCT 1960</i>
Time	<i>1:30 PM</i>
Fee	<i>2.10</i>
Abstract No.	<i>6038</i>

In pursuance of a resolution of the Whangarei Borough Council passed on the 14<sup>th</sup> day of June 1960 under section 224 of the Municipal Corporations Act 1953, the Whangarei Borough Council has approved the plan and the Registrar of Land has registered the same on the 6<sup>th</sup> day of December 1960. The Registrar has also issued the necessary notices to the owners of the land affected by the plan.

Witness my hand and seal this 6<sup>th</sup> day of December 1960.

*W. B. Newman* District Land Registrar



**Plan of Subdivn of Pt Allot 2, Parish of Whangarei**

Approved as to Survey  
*[Signature]*  
 Chief Surveyor  
 30. 11. 60

Received

Comprised in C.T. 480/136 All.  
 Survey Block & District Bk IX Whangarei S.D.  
 Land District Nth Auckland Local Body Whangarei Borough  
 Scale: 50 links to an inch Surveyed by K.L. Simpson Date July 1960  
Kenneth Leonard Simpson Registered Surveyor and holder of an annual practising certificate, do solemnly and sincerely declare that the plan has been made from surveys conducted by me; that both plan and survey are correct, and have been made in accordance with the regulations under the Surveyors Act, 1952.  
 Declared at Whangarei on 28<sup>th</sup> day of September 1960.  
*[Signature]*  
 Registered Surveyor

Approved  
*[Signature]*  
 Applicant of Registered Owner

The space reserved for the number  
**48746**





**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **NA1923/15**  
**Land Registration District** **North Auckland**  
**Date Issued** **14 April 1961**

**Prior References**  
NA480/136

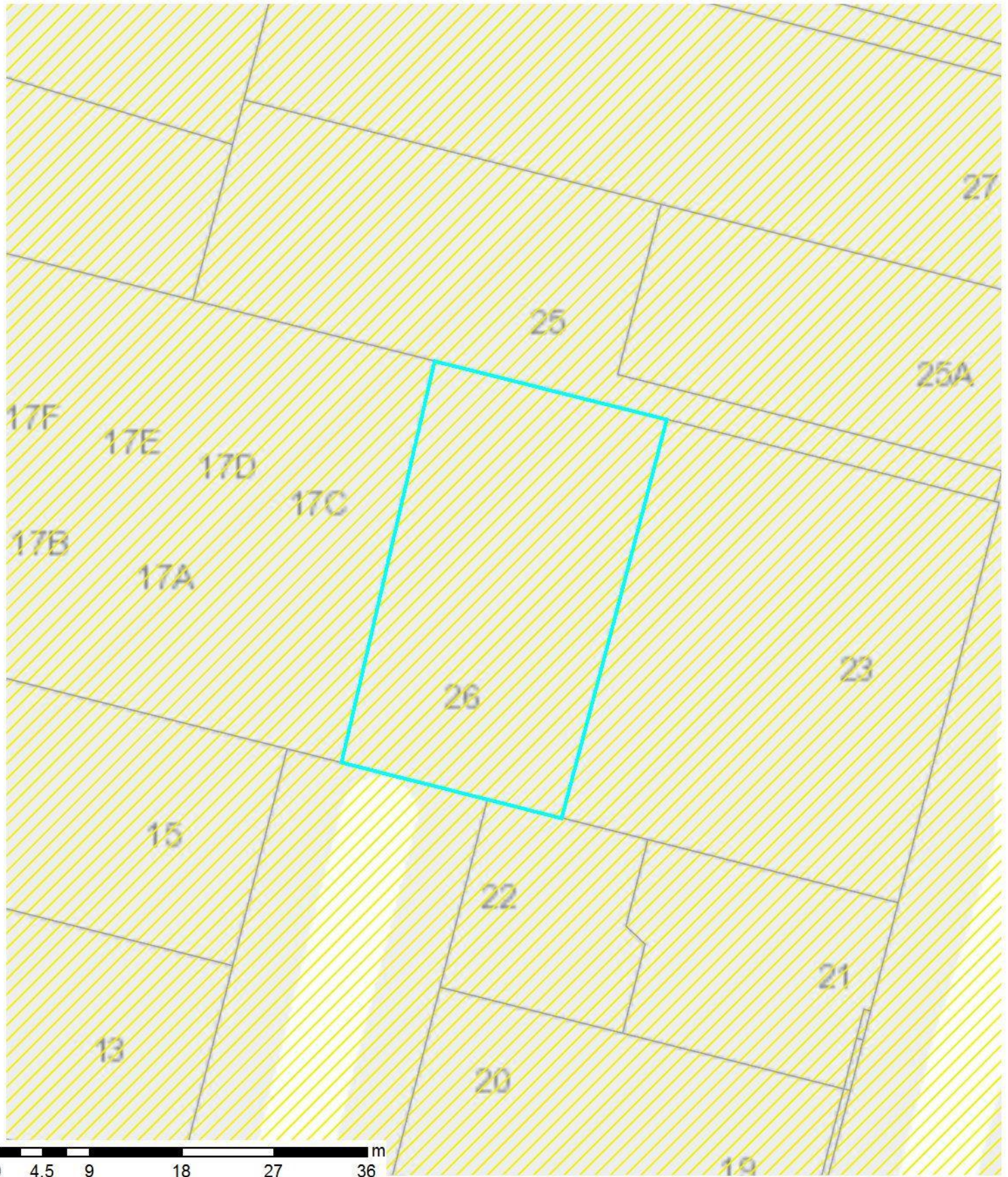
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**Estate** Fee Simple  
**Area** 913 square metres more or less  
**Legal Description** Lot 2 Deposited Plan 48746  
**Registered Owners**  
Julie Lenore Girvan

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**Interests**  
Fencing Agreement in Transfer 72765  
Appurtenant hereto is a right of way created by Transfer 657492 - 14.4.1961




# Land Stability



This Land Stability hazard information was prepared by Tonkin and Taylor Engineers Ltd.

Hazard information as shown is approximate and should not be used as a replacement for site specific investigation and assessments. The absence of hazard information shown does not mean that there is none, only that the information may not yet have been collected.

#### Land InStability

-  High Hazard
-  Moderate Hazard
-  Low Hazard

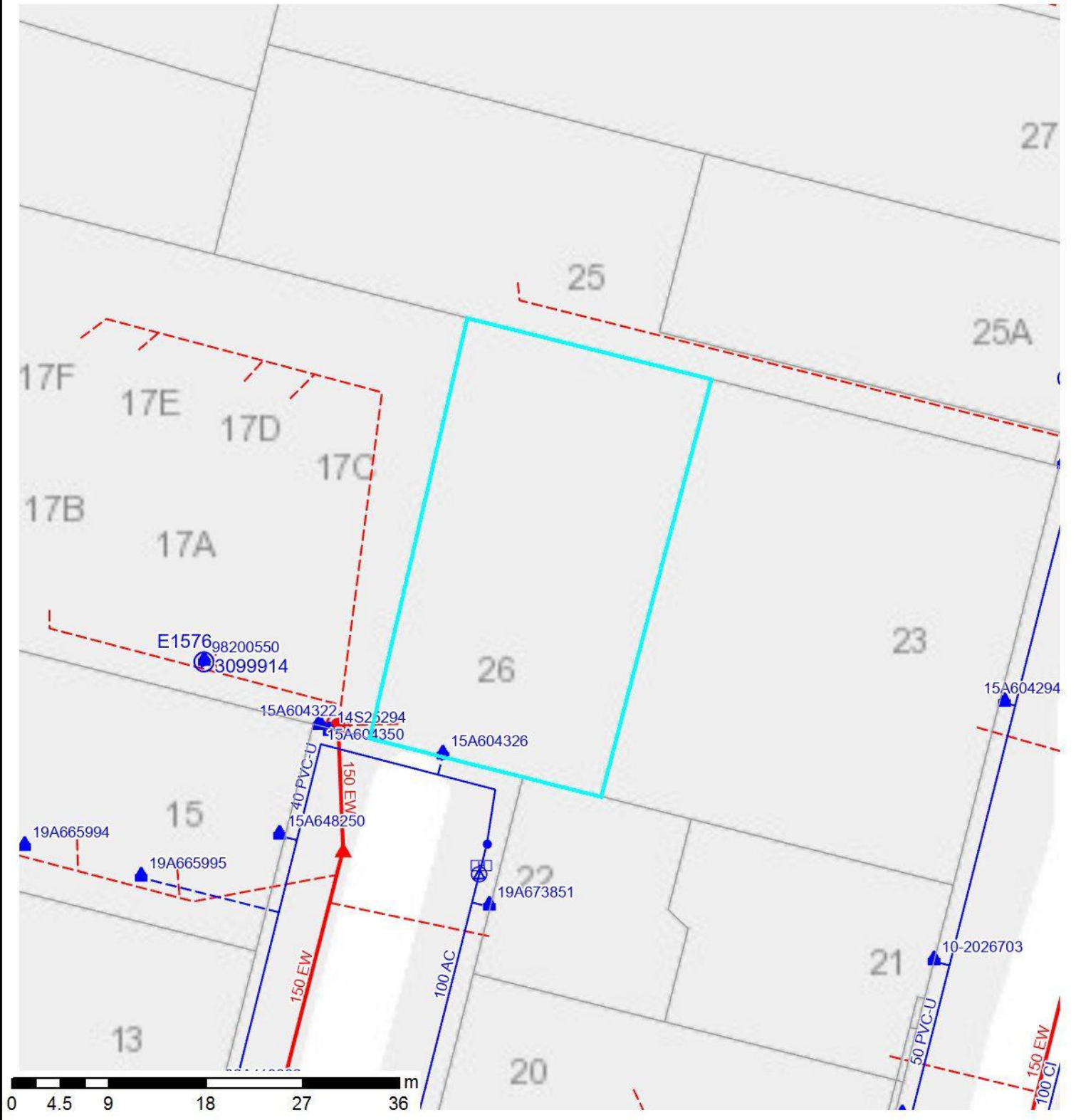
Thursday, October 15, 2020

Scale:1:500

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# Pipeline Assets



- |                      |                              |                          |
|----------------------|------------------------------|--------------------------|
| Water                | Stormwater                   | Wastewater continued     |
| Dark blue = WDC      | Dark green = WDC             | Red = WDC                |
| Light blue = Private | Light green = Private        | Pink = Private           |
| Water Node           | Other                        | Other                    |
| Main Valves          | Sump                         | Manhole                  |
| Toby Valves          | Inlet/Outlet Node            | Valve                    |
| Hydrants             | Manhole                      | Pump                     |
| Pump                 | Storm Water Service Line     | Backflow Preventer       |
| Water Meter          | Storm Water Line             | Waste Water Service Line |
| WaterBackFlow        | Wastewater                   | Gravity                  |
| Water Service Line   | Public Pressure Sewer System | Rising                   |
| Water Line           | Private Pumping Unit         | Waste Water Line         |
|                      |                              | Gravity                  |
|                      |                              | Rising                   |

This information is generalized and shows the approximate location of the Public pipeline services. For digging, the As-Built engineering drawings must be used to accurately locate the services. See WDC Customer Services.

Thursday, October 15, 2020 Scale: 1:500



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# Whangarei Corporation

## HOUSE CONNECTION PLAN

PERMIT No. \_\_\_\_\_

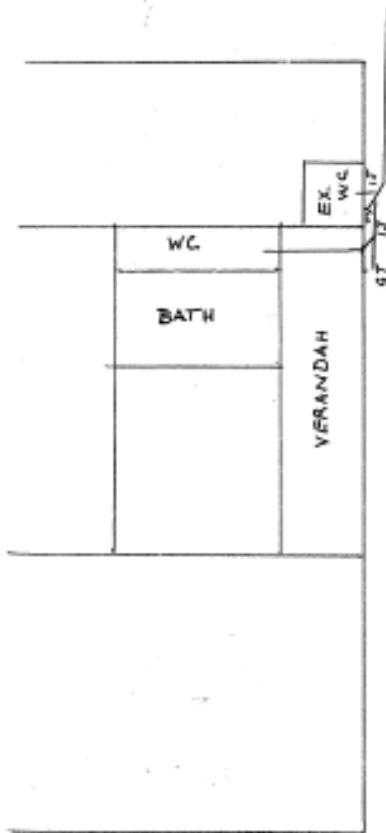
DATE \_\_\_\_\_

Scale: 1/8in. to a Foot  
New Sewerage Drains: Red  
Storm Water: Dotted Black  
Old Drains: Full Black

16385

2457

Binding Margin to be left Blank.



1767

1767

Owner Mr. N. L. Sutton

Street Zealandia st

Assessment No. 1/1/2048  
Sec 1 of Zealandia St  
Lot 1 DP 21152  
of 12. of plot 2.

Plumber H. V. Reed

Drainer H. V. Reed

# WHANGAREI CITY

PERMIT No. 10909

DATE 7/7/75

## HOUSE CONNECTION PLAN

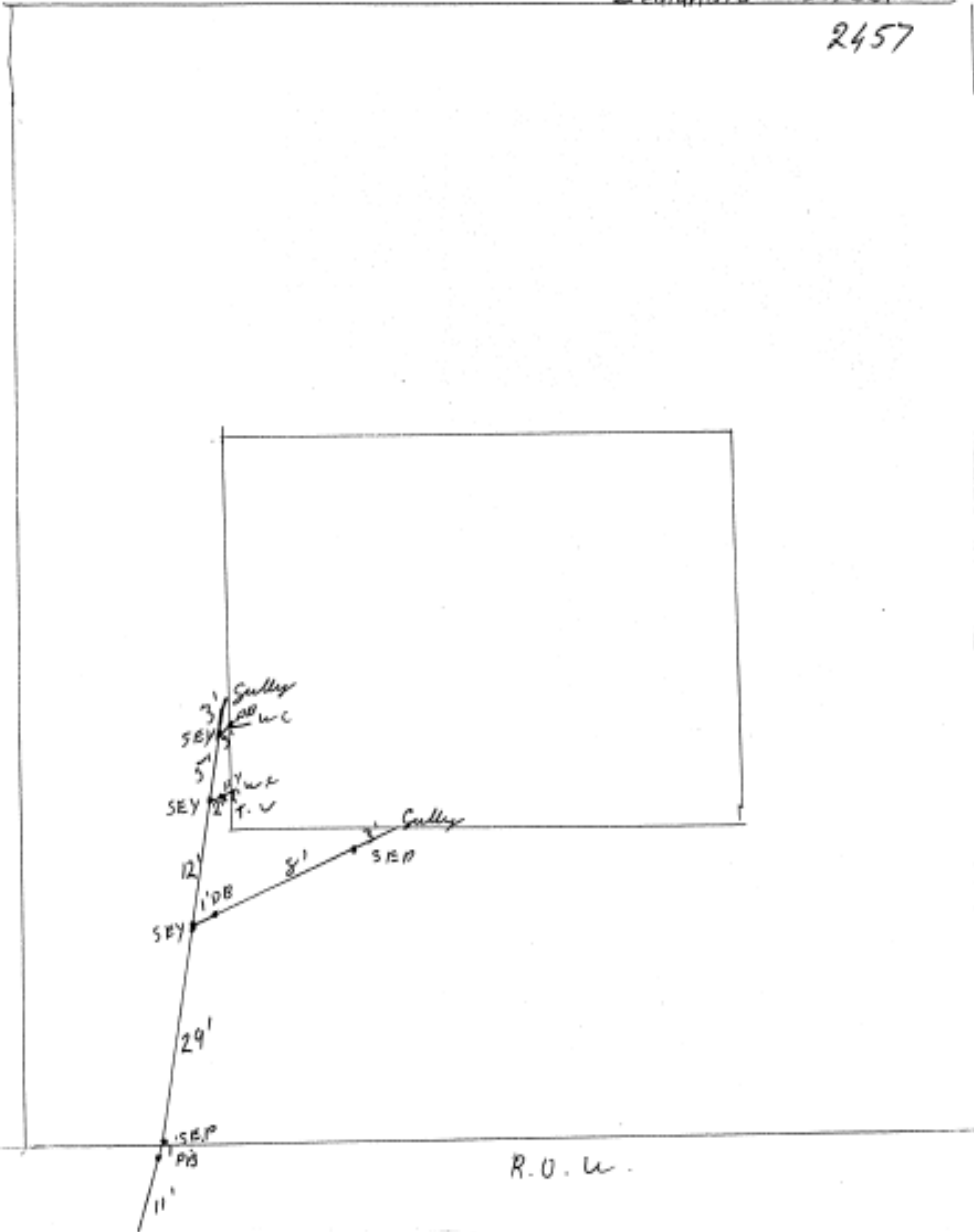
SCALE: 1/8in. TO A FOOT  
NEW SEWERAGE DRAINS: RED  
STORM WATER: DOTTED BLACK  
OLD DRAINS: — FULL BLACK

Zealandia Street

2457

16385

Binding Margin to be left Blank



Owner Mr. G.D. Blampied  
Street 26 Zealandia Street Assessment No.

Plumber

Drainer P.D. Neill

SHAW-WALKER  
2004/1/74



Whangarei District Council  
Forum North - Private Bag 9023  
Whangarei New Zealand  
Ph:0-9-430 4200 Fax:0-9-438 7632  
Email: mailroom@wdc.govt.nz

## Rates LIM Report

As at: Thursday, 15 October, 2020

**Property Number** 16385  
**Legal Description** LOT 2 DP 48746  
**Assessment Number** 0073141300  
**Address** 26 Zealandia Street Whangarei 0112  
**Record of Title(s)** 1923/15  
**Land Value** \$204,000  
**Capital Value** \$638,000  
**Date of Valuation** 01-August-2018  
**Effective Date (used for rating purposes)** 01-July-2019  
**Meter Location** CENTRE SECTION BEHIND HEDGE.....4M RH OF DR DOGS 6m LHB 7.5m RHB #26

### Rates Breakdown (up to 30 June 2021)

Rates Charge	Charge Total
District-wide Refuse Management	\$191.00
General Residential	\$490.70
Sewage Disposal - Residential	\$754.00
Uniform Annual General Charge	\$486.00
Regional Civil Defence & Hazard Management	\$21.44
Regional Council Services	\$120.20
Regional Emergency Services Rate	\$11.71
Regional Flood Infrastructure	\$27.05
Regional Fresh Water Management	\$40.11
Regional Infrastructure	\$4.90
Regional Land Management	\$18.65
Regional Pest Management	\$60.11
Regional River Management - General Catchment Area	\$43.52
Regional Sporting Facilities	\$16.76
Regional Transport Rate	\$23.20
<b>Annual Charge Total</b>	<b>\$2,309.35</b>

**Opening Balance as at 01/07/2020** **\$-200.74**

Rates Instalments	Total
20/07/2020 Instalment	\$578.35
20/10/2020 Instalment	\$577.00
20/01/2021 Instalment	\$577.00
20/04/2021 Instalment	\$577.00
<b>Rates Total</b>	<b>\$2,309.35</b>

**Balance to Clear** **\$1,526.32**

Whangarei Borough Council

16385

1510

BUILDING APPLICATION FORM

Date: 15th Oct 1948

To: The Borough Engineer,

Sir,

I hereby apply for permission to Build Garage at 26 Zealandia St for F.M. Rolfe-Smith (House Number and Street) of 26 Zealandia St according to locality plan and detailed plans, elevations cross-sections and specifications of building desposited herewith in duplicate.

PARTICULARS OF LAND:

LENGTH OF BOUNDARIES:

Assesa. No. 4/1/1722 Lot No. 1 D.P. 21152 D.P. 21152 Allotment No. 2

Front: Back: Side: Area: Side:

PARTICULARS OF BUILDING:

Foundations: Concrete Walls: Lime (concrete)

Floors: Metal Roof: Metal

Area of Ground Floor: Area of Outbuildings: 119 Number of Storeys: Above kerb level Below kerb level Average distance of set back of front of buildings from street boundary line:

ESTIMATED COST:

Building £ 41 Sanitary, Plumbing and Drainage £ Total £ 41

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose):

Proposed use or occupancy of other parts of buildings:

Nature of ground on which building is to be placed and on the subjacent strata: Volcanic

Yours faithfully E. D. Stewart F.M. Rolfe-Smith Owner G. Rolfe-Smith Builder

Builder's Postal Address: G. Rolfe-Smith 26 Zealandia St.

# A. H. ROLFE-SMITH

70

ELECTRICAL CONTRACTOR

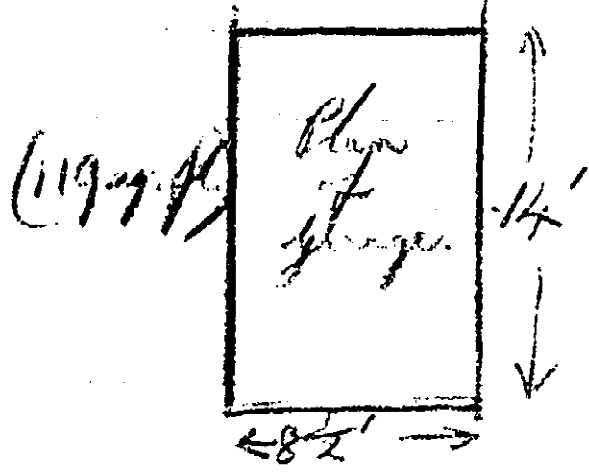
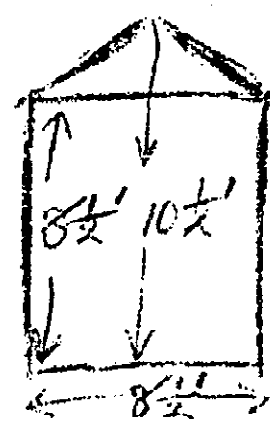
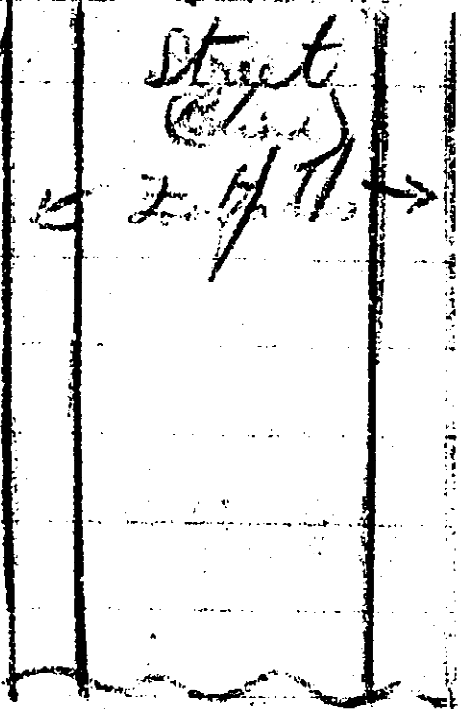
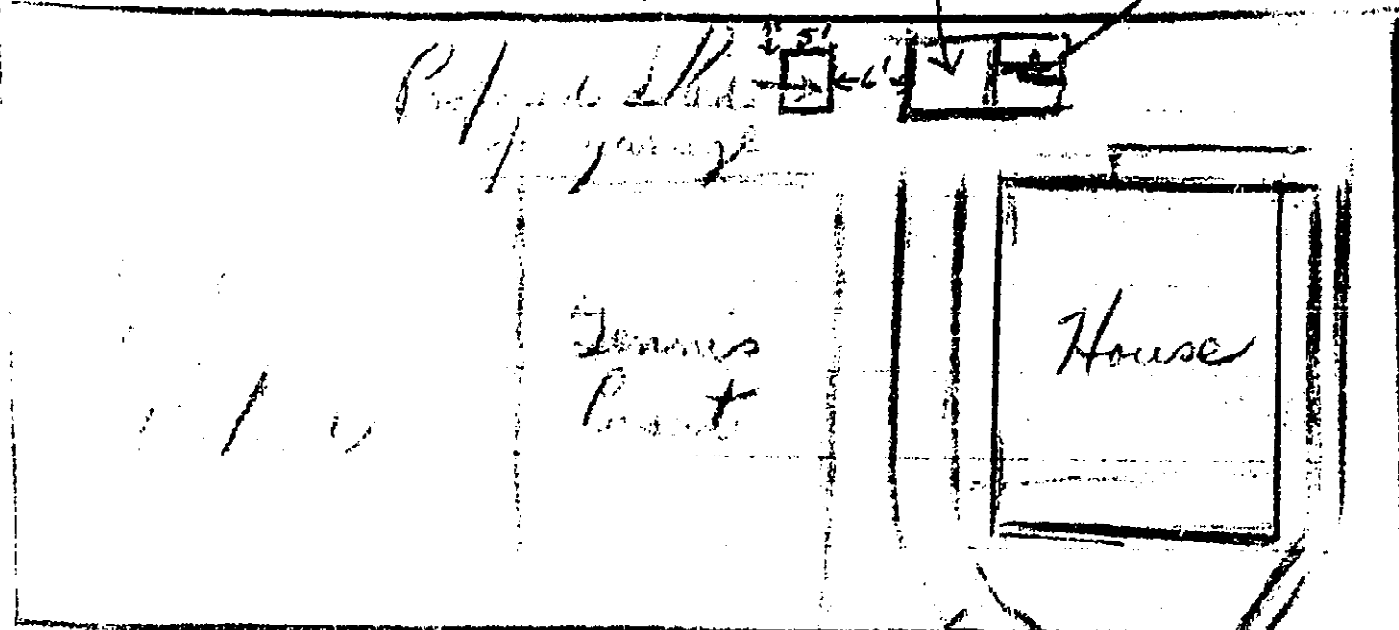
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WHANGAREI

RESIDENCE  
9 PARK AVENUE  
PHONE

NEW ZEALAND  
ELECTRICAL CONTRACTORS  
ASSOCIATION

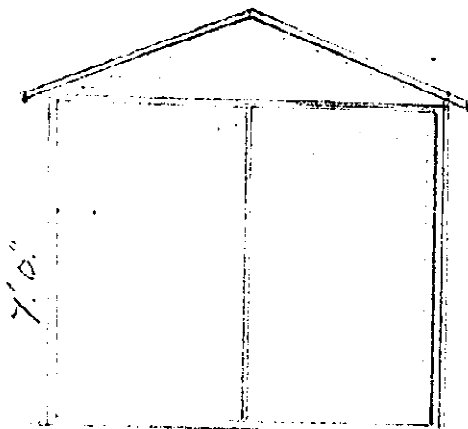
*Store* *House*





86 X 106  
PROPOSED  
GARAGE

EXISTING DWELLING



86 X 106

PINUS FRAMING AND WHETHER BDS.  
CREATED ALL OVER.  
MALTHID ROOF.

PROPOSED GARAGE FOR, A.H. POLFE-SMITH  
ALEXANDER STREET.

2743

16385

# Whangarei Borough Council

## BUILDING APPLICATION FORM

Date: 28-5-1951

To: The Borough Engineer,

Sir,

I hereby apply for permission to Make Alterations to Ke 13 Cook

at Zealandia St (House Number and Street) for Mr L.N. Sutton (Owner)

of Zealandia St (Address) according to locality plan and detailed plans, elevations cross-sections and specifications of building deposited herewith in duplicate.

### PARTICULARS OF LAND:

### LENGTH OF BOUNDARIES:

Assess. No. 1/1/2048  
Lot No. 1  
D.P. 21155 of 12  
Allotment No. 2

Front: .....  
Back .....  
Side: ..... Area: .....  
Side: .....

### PARTICULARS OF BUILDING:

Foundations: Concrete  
Walls: Wood

Floors: .....  
Roof: .....

Area of Ground Floor: ..... square feet.

Area of Outbuildings: ..... square feet.

Number of Storeys: Above kerb level ..... Below kerb level .....

Average distance of set back of front of buildings from street boundary line: .....

### ESTIMATED COST:

Building	£ 450.
Sanitary, Plumbing and Drainage	£ 100
<b>Total</b>	<u>£ 550.</u>

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) : .....

Proposed use or occupancy of other parts of buildings: .....

Nature of ground on which building is to be placed and on the subjacent strata: .....

Yours faithfully

Builder's Postal Address;

11 Kensington Ave  
Whangarei.

L.N. Sutton Owner.  
P.P. Boreham & Son  
R.A. Long Builder.

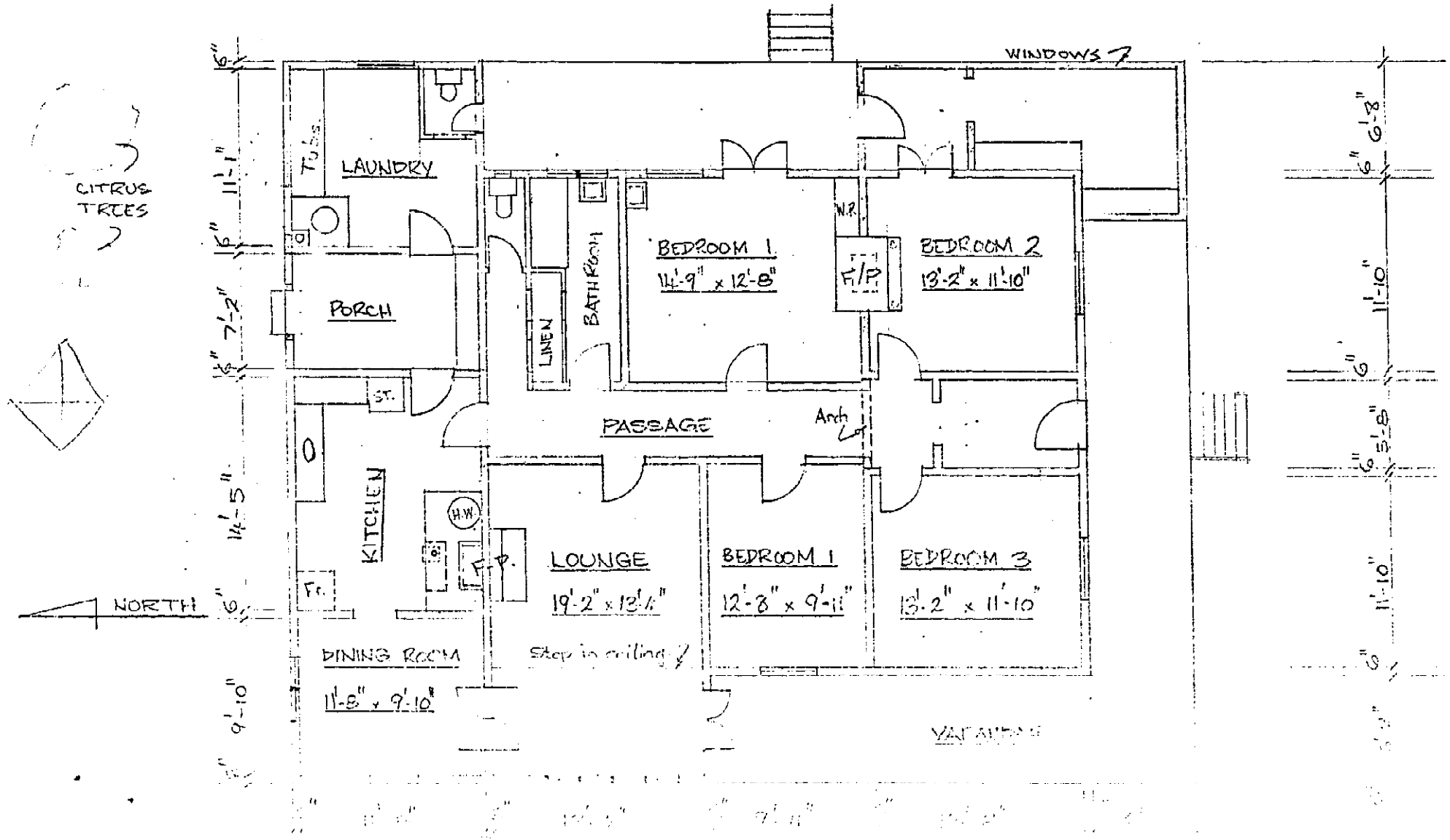
16385

16385

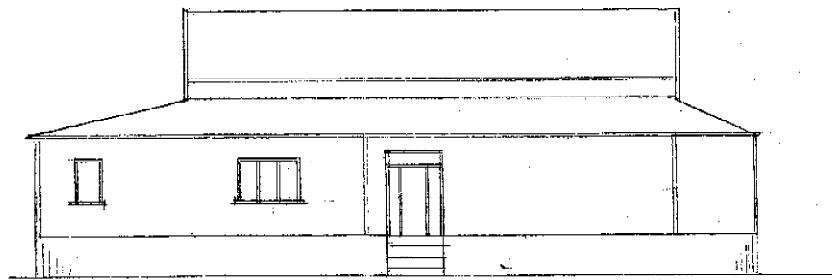
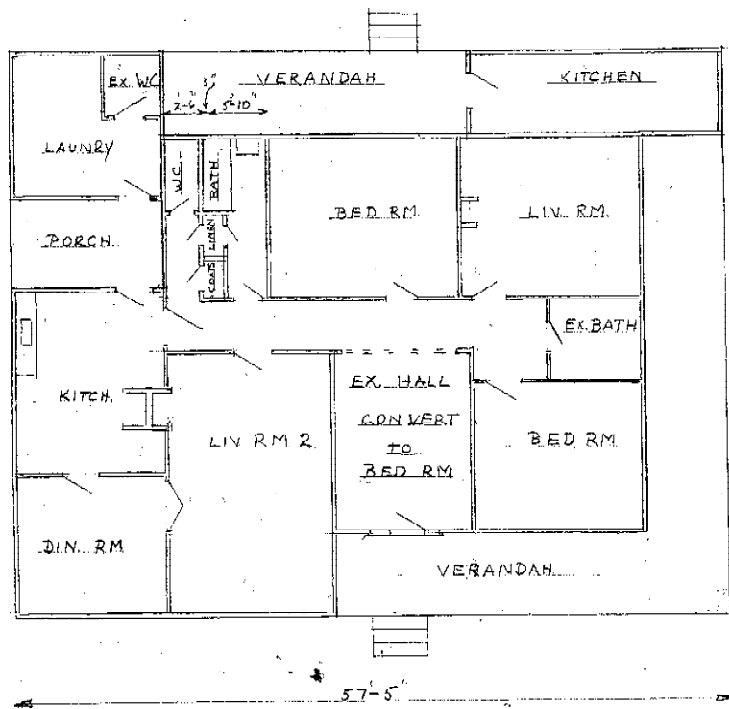
SCALE: 1/8" = 1'-0"

# EXISTING LAYOUT

APPROX. BOUNDARY



16385



PROPOSED ALTERATIONS TO DWELLING  
 FOR  
 MR L. N. SUTTON, ZEALANDIA ST.

2457

F 85835

1/8/74

**BUILDING APPLICATION FORM**

Please Note that any person wishing to take a vehicle over footpath, other than a proper crossing constructed for such purpose, shall apply to Council for a permit to do so and shall pay a fee of \$20.

Date 27/6 1974

To: The City Inspector,

Sir,

I hereby apply for permission to make internal alterations to house  
at 26 Zealandia St for G.D. Blampied  
(House Number and Street) (Owner)  
of 64 Bedlington St., according to locality plan and detail plans, elevations cross-sections  
(Address)  
and specifications of building deposited herewith in duplicate.

**PARTICULARS OF LAND:**

Assess. No. 42/513  
Lot No. 2  
D.P. H8746  
Allotment No. —

**LENGTH OF BOUNDARIES:**

Front 109.92 lks  
Back 115.95 lks  
Side 199.32 lks Area 36.1 perches  
Side 199.32 lks

**PARTICULARS OF BUILDING:**

Foundations concrete block  
Walls gibraltar board  
Floors timber  
Roofs corrugated iron  
Area of Ground Floor 2000 square feet  
Area of Outbuildings 300 square feet  
Number of Storeys: Above kerb level ONE Below kerb level —  
Average distance of set back of front of buildings from street boundary line 39 feet

**ESTIMATED VALUE:**

Building	\$ 700	: 00
Sanitary Plumbing and Drainage	\$ 200	: 00
Total	<u>\$ 900</u>	<u>: 00</u>

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) my own dwelling

Proposed use or occupancy of other parts of buildings —

Nature of ground on which building is to be placed and on the subjacent strata volcanic soil

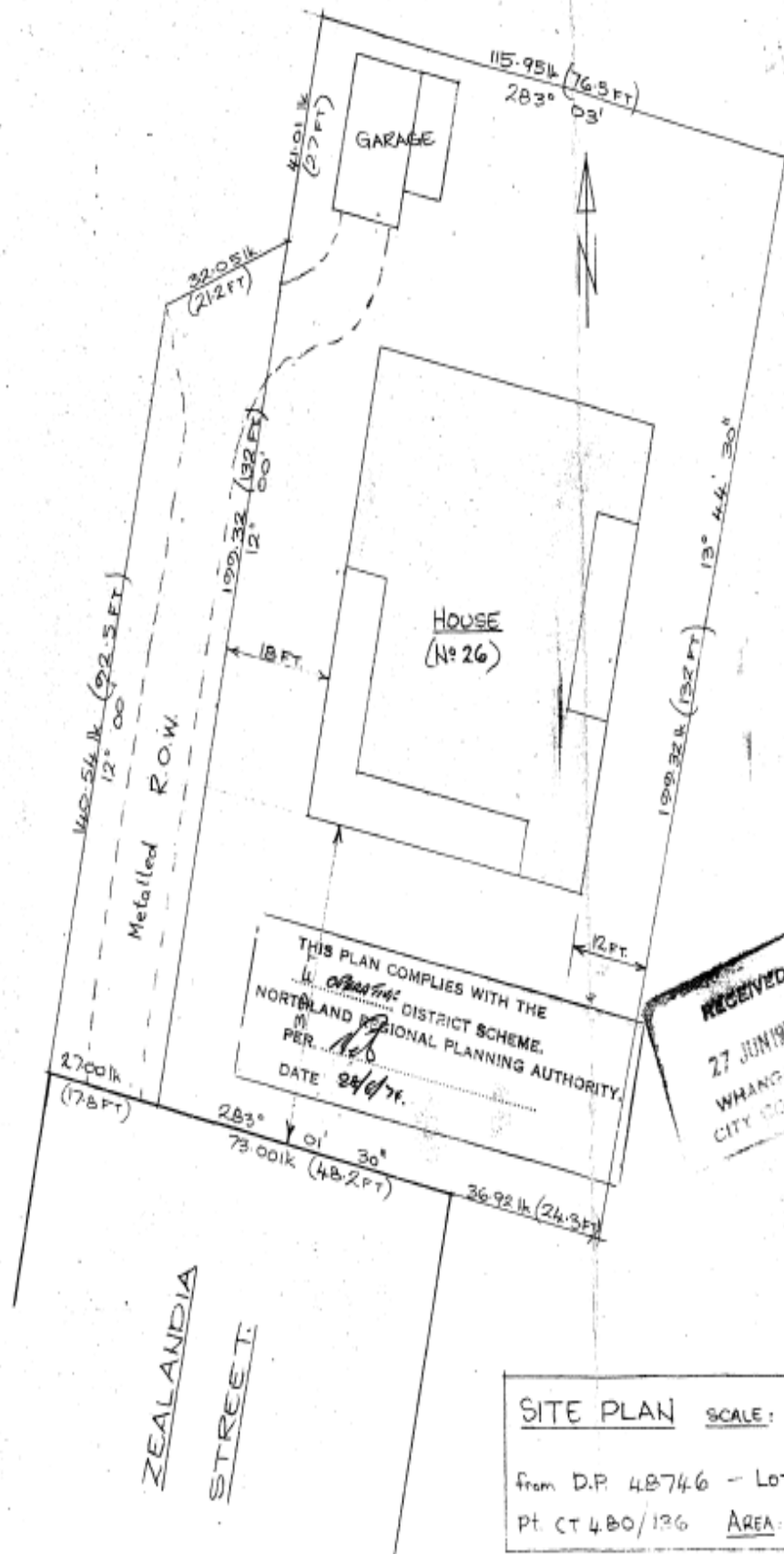
Yours faithfully  
G.D. Blampied Owner

Builder's Postal Address: \_\_\_\_\_ Builder

\_\_\_\_\_

Builder's Phone \_\_\_\_\_

16385



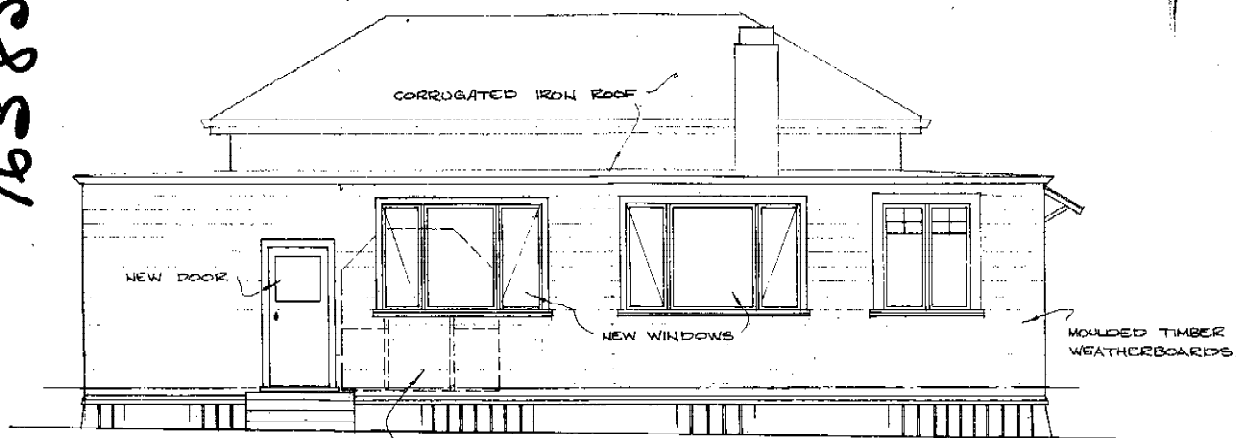
THIS PLAN COMPLIES WITH THE  
 DISTRICT SCHEME,  
 NORTHLAND REGIONAL PLANNING AUTHORITY,  
 PER. *RB*  
 DATE 24/6/74.

RECEIVED  
 27 JUN 1974  
 WHANGAREI  
 CITY COUNCIL

ZEALANDIA  
 STREET

SITE PLAN SCALE: 1/16" = 1'-0"  
 from D.P. 48746 - LOT 2  
 Pt. CT 480/136 AREA: 361p

16385



CLOSE IN EXISTING  
OPENING TO PORCH  
& RAISE FLOOR LEVEL.

1/4" ELEVATION

SPECIFICATION NOTES:-

USE 6" x 4" LINTEL OVER BOTH NEW WINDOW OPENINGS, & 4" x 2" OVER NEW DOORWAY. CHECK LINTEL BEAMS 1/2" INTO STUDS.  
ALL FRAMING TIMBER SHALL BE 4" x 2" TANAISED PINE. ALL FINISHING TIMBER SHALL BE:-  
INTERIOR - D.A. RIMU, EXTERIOR - DRESSED TREATED O.B. RIMU.

SCHEDULE OF SASHES:-

ROOM	SIZE	TYPE
LIVING ROOM	LANDSCAPE 4'-9" x 4'-0" WITH SINGLE 4'-9" x 1'-10" LIGHTS EACH SIDE	CASEMENT HUNG.
KITCHEN	LANDSCAPE 4'-9" x 3'-3" WITH SINGLE 4'-9" x 1'-10" LIGHTS EACH SIDE	CASEMENT HUNG.

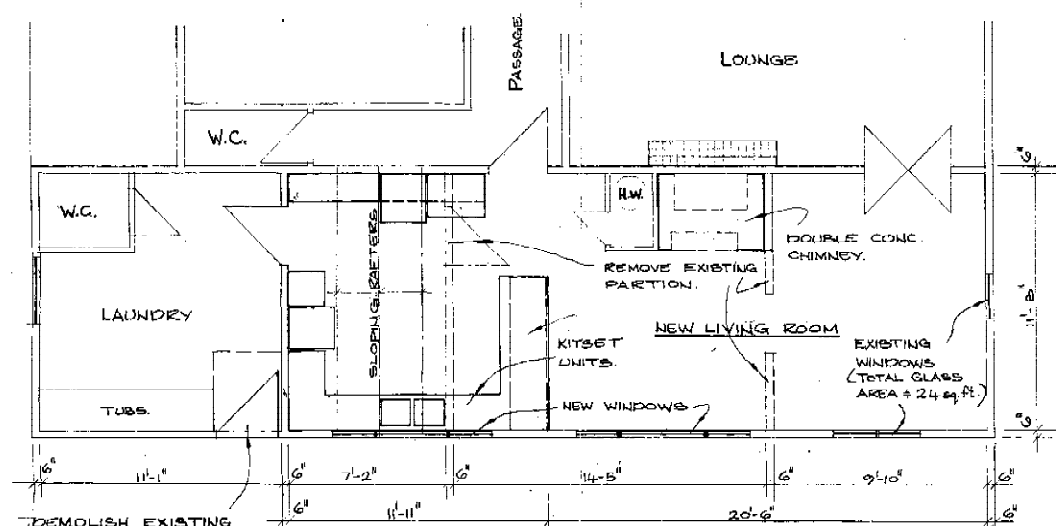
WINDOWS:- ALL JAMBS MULLIONS HEADS & SILLS SHALL BE OF D.A. HE RIMU, TOTARA, OR MATAI. CHECK ALL JAMBS & MULLIONS INTO SILLS.

FLOORING SHALL BE 3/4" PARTICLE BOARD.

KITCHEN & LIVING ROOM SHALL BE RE-LINED WITH 3/8" GIBBALTER BOARD.

PLUMBING & DRAINAGE SHALL BE DONE TO THE APPROVAL OF THE LOCAL BODY INSPECTOR.

NOTE: ALL WORK CARRIED OUT SHALL BE DONE IN COMPLIANCE WITH LOCAL AUTHORITY BYLAWS & TO THE SATISFACTION OF THE LOCAL BODY INSPECTOR.

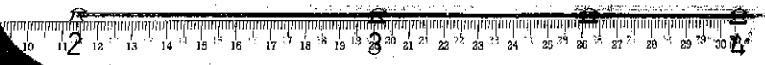


DEMOLISH EXISTING  
BRICK & CONC. INCINERATOR  
& INSTALL NEW DOOR.

1/4" FLOOR PLAN

RECEIVED  
27 JUN 1974  
WHANGAREI  
CITY COUNCIL

ALTERATIONS TO EXISTING HOUSE  
FOR G.D. BLAMPIED at 26 ZEALANDIA ST.



WHANGAREI CITY COUNCIL

10.9  
3457

F 87031

**BUILDING APPLICATION FORM**

Please Note that any person wishing to take a vehicle over footpath, other than a proper crossing constructed for such purpose, shall apply to Council for a permit to do so and shall pay a fee of \$20.

Date 28-5 1975

To: The City Inspector,

Sir,

I hereby apply for permission to lower laundry ceiling & line with gib board.  
at 26 Zealandia St for G.D. Blampied (Owner)  
(House Number and Street)  
of Whangarei (Address) according to locality plan and detail plans, elevations cross-sections

and specifications of building deposited herewith in duplicate.

**PARTICULARS OF LAND:**

Assess. No. 72/513  
Lot No. 2  
D.P. 48746  
Allotment No.

**LENGTH OF BOUNDARIES:**

Front 109.92 lks (22.11 m)  
Back 115.95 lks (23.33 m)  
Side 40.10 m Area 36.1 p (913.08 m<sup>2</sup>)  
Side 199.32 lks (40.10 m)

**PARTICULARS OF BUILDING:**

Foundations conc. block Floors T & G boards  
Walls Weatherboard (timber) Roofs corrugated iron  
Area of Ground Floor 1900 sq. ft. (176.5 m<sup>2</sup>) square feet  
Area of Outbuildings 250 sq. ft. (23.2 m<sup>2</sup>) square feet  
Number of Storeys: Above kerb level 1 Below kerb level  
Average distance of set back of front of buildings from street boundary line 39ft (11.9 m)

**ESTIMATED VALUE:**

Building \$ 200 : 00  
Sanitary Plumbing and Drainage \$ 100 : 00  
Total \$ 300 : 00

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) owners residence.

Proposed use or occupancy of other parts of buildings

Nature of ground on which building is to be placed and on the subjacent strata volcanic, level.

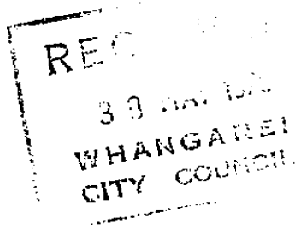
Yours faithfully,

G.D. Blampied Owner  
G.D. Blampied Builder

Builder's Postal Address:

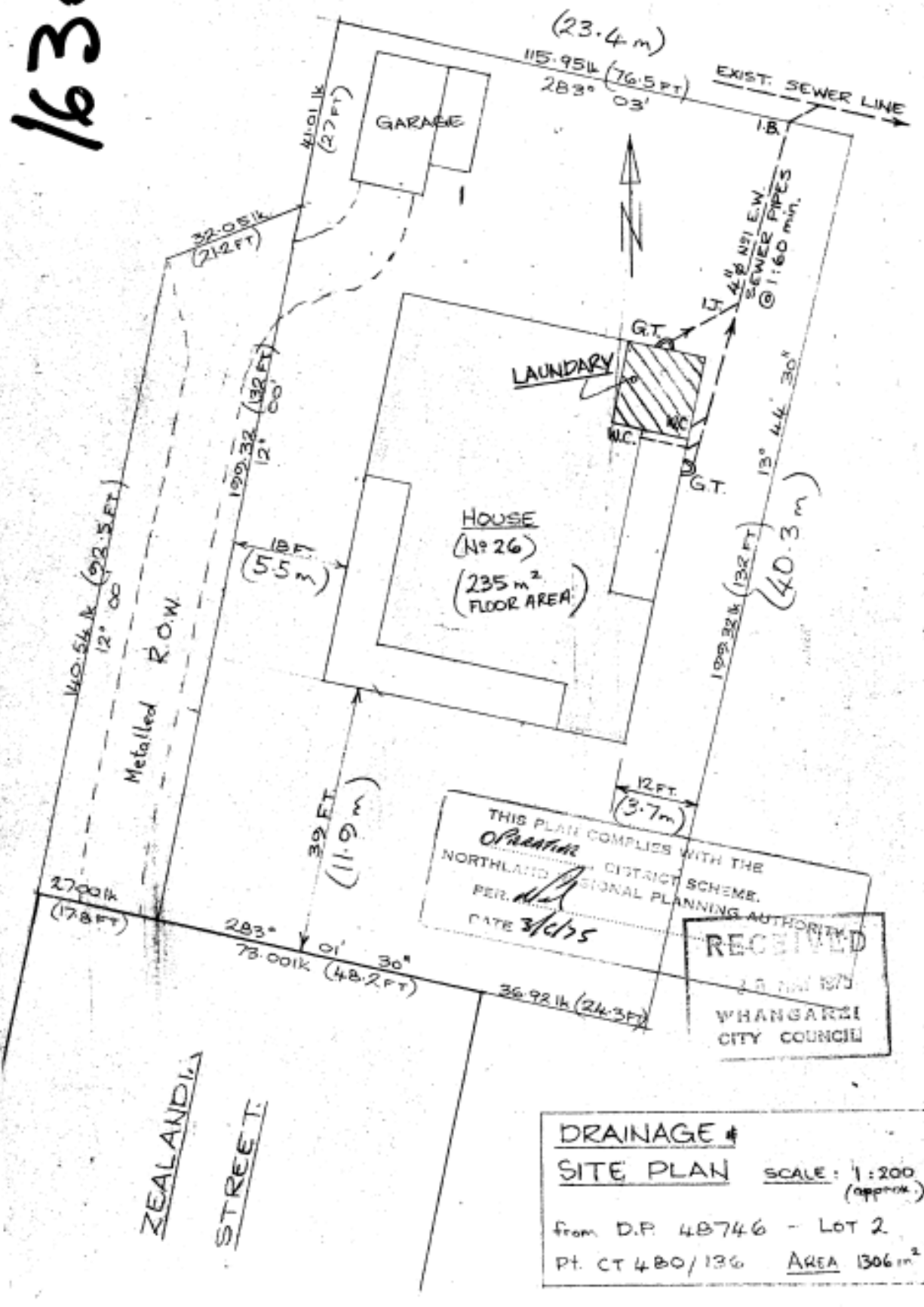
26 Zealandia St.  
Whangarei

Builder's Phone 21752





16385



THIS PLAN COMPLIES WITH THE  
*Operator*  
 NORTHLAND DISTRICT SCHEME.  
 PER. *[Signature]* REGIONAL PLANNING AUTHORITY.  
 DATE 3/1/75

RECEIVED  
 18 MAR 1975  
 WHANGAREI CITY COUNCIL

**DRAINAGE #**  
**SITE PLAN** SCALE: 1:200 (approx)  
 From D.P. 48746 - LOT 2  
 Pt. CT 480/136 AREA 1306 m<sup>2</sup>

EXISTING C.G.I. ROOF

EXISTING 75 x 50 PURLINS

EXISTING 100 x 50 RAFTERS

OLD MATCH LINING

125 x 50 STRONGBACK

75 x 50 NOSS

10mm GIB. BOARD LINING

100 x 50 FRAMING

100 x 50 CEILING JOISTS @ 500mm C/S.

0.91m

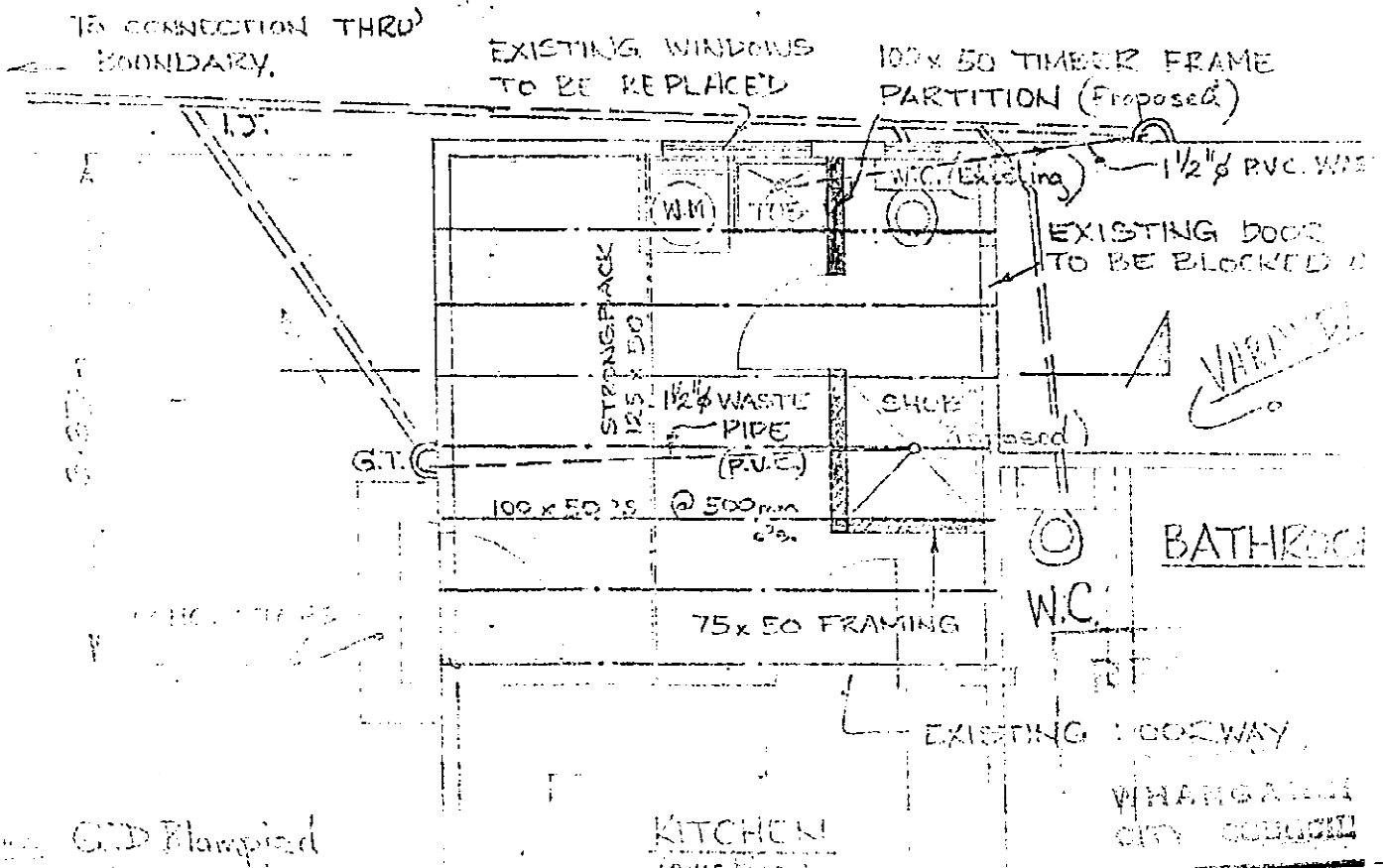
EXISTING EXTERIOR WALL

EXISTING INTERIOR WALL

3'-0" to Floor

NOTE : 125 x 50 STRONGBACK, NAIL TO WALL FRAMING ONE END & EXISTING RAFTER AT OTHER.

CROSS SECTION (1:25 approx.)



FLOOR PLAN (1:50)

Eng. G.D. Flanagan (28-5-75)

WHANGAREI CITY COUNCIL

3072125  
12.12.80

WHANGAREI CITY COUNCIL

2457

BUILDING APPLICATION FORM

Date 2/12/80

16385

Please Note that any person wishing to take a vehicle over footway other than a proper crossing constructed for such purpose, shall apply to Council for a permit to do so and shall pay the appropriate deposit.

To: The Director of Engineering.

Sir,

I hereby apply for permission to make alterations & additions to house at 26 Zealandia St for G.D. Blampied (Owner) of 26 Zealandia St according to locality plan and detail plans, elevations cross-sections and specifications of building deposited herewith in duplicate.

PARTICULARS OF LAND:

LENGTH OF BOUNDARIES:

Assess. No. 72/513 Front 22.1 m
Lot No. 2 Back 23.4 m
D.P. 48746 Side 40.3 m Area 1306 m^2
Allotment No. Side

PARTICULARS OF BUILDING:

Foundations conc. foundation blocks Floors timber
Walls timber framing/weather bld Roofs iron
Area of Ground Floor additions only = 16.4 m^2 (Metres)
Area of Basement (Metres)
Area of First Floor or Mezzanine (Metres)
Area of Outbuildings (Metres)
Number of Storeys: Above kerb level one Below kerb level nil.
Average distance of set back of front of buildings from street boundary line 11.9m

ESTIMATED VALUE:

Building \$ 2400
Sanitary Plumbing Drainage \$
Total \$ 2400

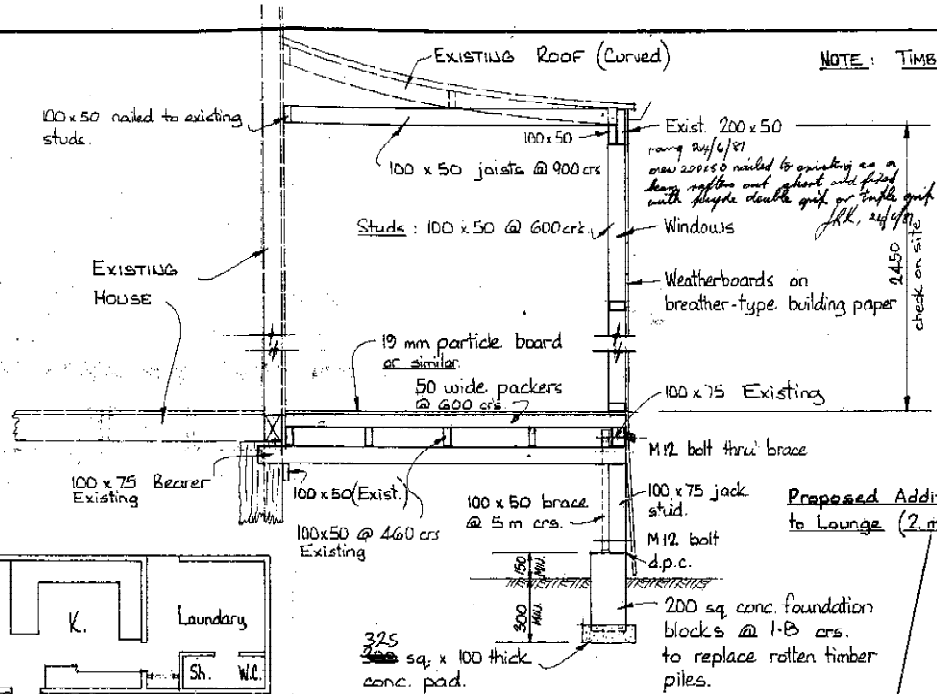
Proposed purpose for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) additions - sunporch - lounge

Proposed use or occupancy of other parts of buildings

Nature of ground on which building is to be placed and on the subjacent strata volcanic

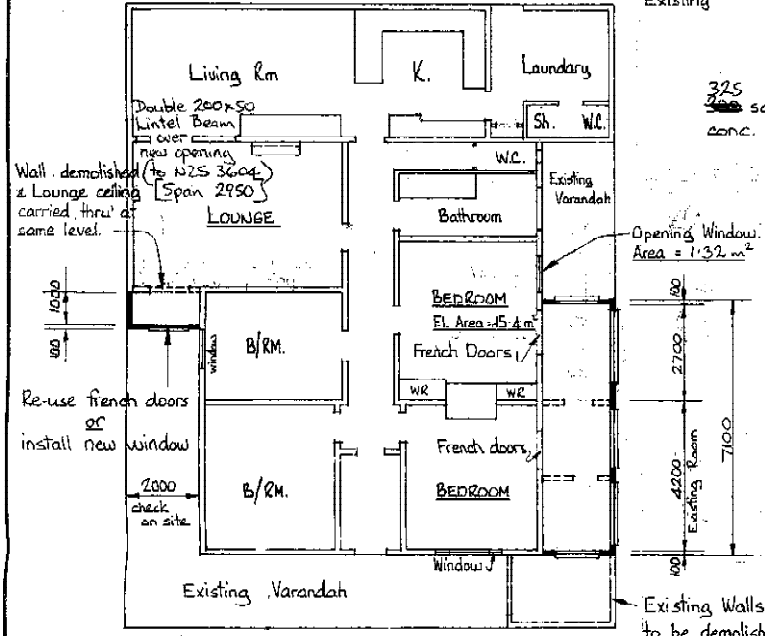
PLEASE PRINT
Builder's Postal Address: (Please print) 26 Zealandia St Whangarei
Builder's Phone 71752
Yours faithfully, G.D. BLAMPIED Owner
G.D. BLAMPIED Builder
G.D. Blampied Signature

16385



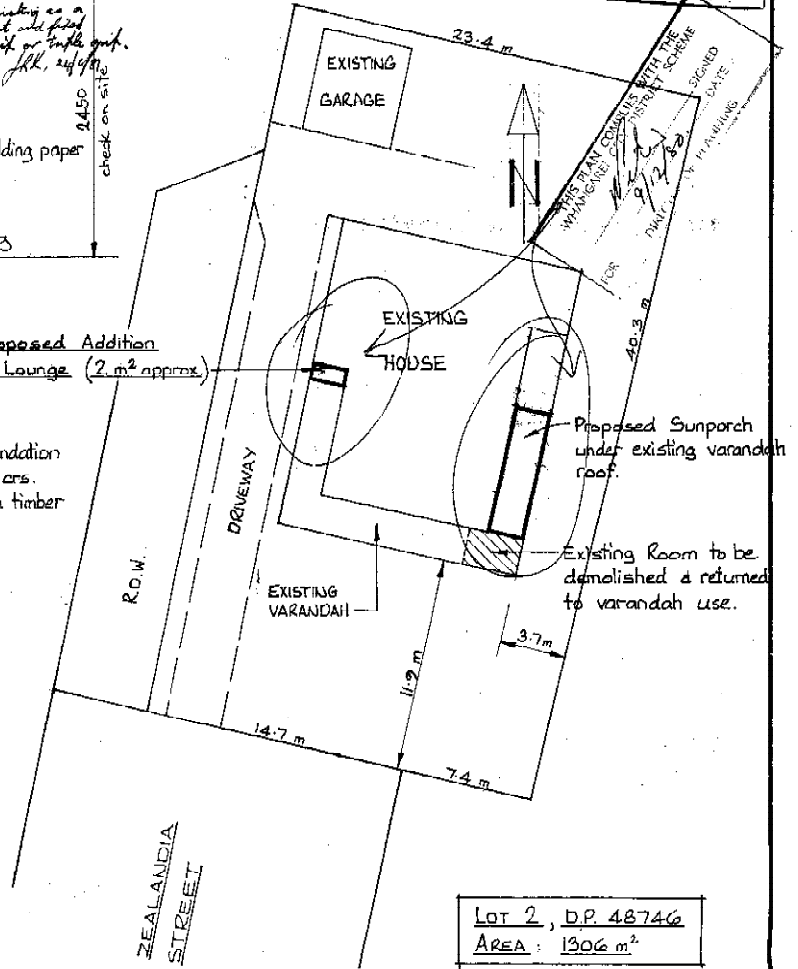
NOTE: TIMBER FRAMING : 100x50 Studs @ 600 crs  
100x50 Bottom Plate  
Min. of One row of dwangs.

RECEIVED  
5 DEC 1980  
WHANGAREI  
CITY COUNCIL



TYPICAL SECTION  
1:20

Note: Existing Windows to be re-used where possible.  
Portion of Existing Room taken into New Room to be re-built as necessary.



LOT 2, D.P. 48746  
AREA: 1306 m²

FLOOR PLAN (1:96)

SITE PLAN (1:192)

PROPOSED ADDITIONS TO HOUSE at  
26 ZEALANDIA ST FOR G.D. BLAMPY (owner)

DRAWN G.D.B.	CHECKED	SCALE as shown	SHEET
TRACED	DATE NOV. 1980		SERIES OF

11-4-83  
187426  
PERMIT NUMBER

2457  
FILE NUMBER

BUILDING APPLICATION FORM

Please Note that any person wishing to take a vehicle over footway other than a proper crossing constructed for such purpose, shall apply to the Council for a permit to do so and shall pay the appropriate deposit.

To: The CITY Engineer

I hereby apply for permission to ERECT A GARDEN SHED  
at 26 ZEALANDIA ST for G. D. BLAMPED  
(House Number and Street) (Owner)  
at as above according to locality plan and detail plans, elevations  
(Address)

cross-sections and specifications of building deposited herewith in duplicate

PARTICULARS OF LAND:

LENGTH OF BOUNDARIES:

Assess. No. 72573 Front \_\_\_\_\_ Area \_\_\_\_\_  
Lot No. 2 Back \_\_\_\_\_  
D.P. 48746 Side \_\_\_\_\_ Side \_\_\_\_\_

PARTICULARS OF BUILDING:

Foundations Concrete Floors Concrete  
Walls Iron Roofs Flt.  
Area of Ground Floor 3.24 (Metres) Area of First Floor or Mezzanine \_\_\_\_\_ (Metres)  
Area of Basement \_\_\_\_\_ (Metres) Area of Outbuildings \_\_\_\_\_ (Metres)  
Number of Storeys: Above kerb level \_\_\_\_\_ Below kerb level \_\_\_\_\_  
Average distance of set back of front of buildings from street boundary line \_\_\_\_\_

ESTIMATED VALUE:

Building \$ 320.00  
Sanitary Plumbing \$ \_\_\_\_\_  
Sanitary Drainage \$ \_\_\_\_\_  
Total \$ 320.00

OFFICE USE ONLY

FEES PAID BY OWNER/BUILDER/OWNER'S AGENT

Proposed purpose for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) Garden Shed.

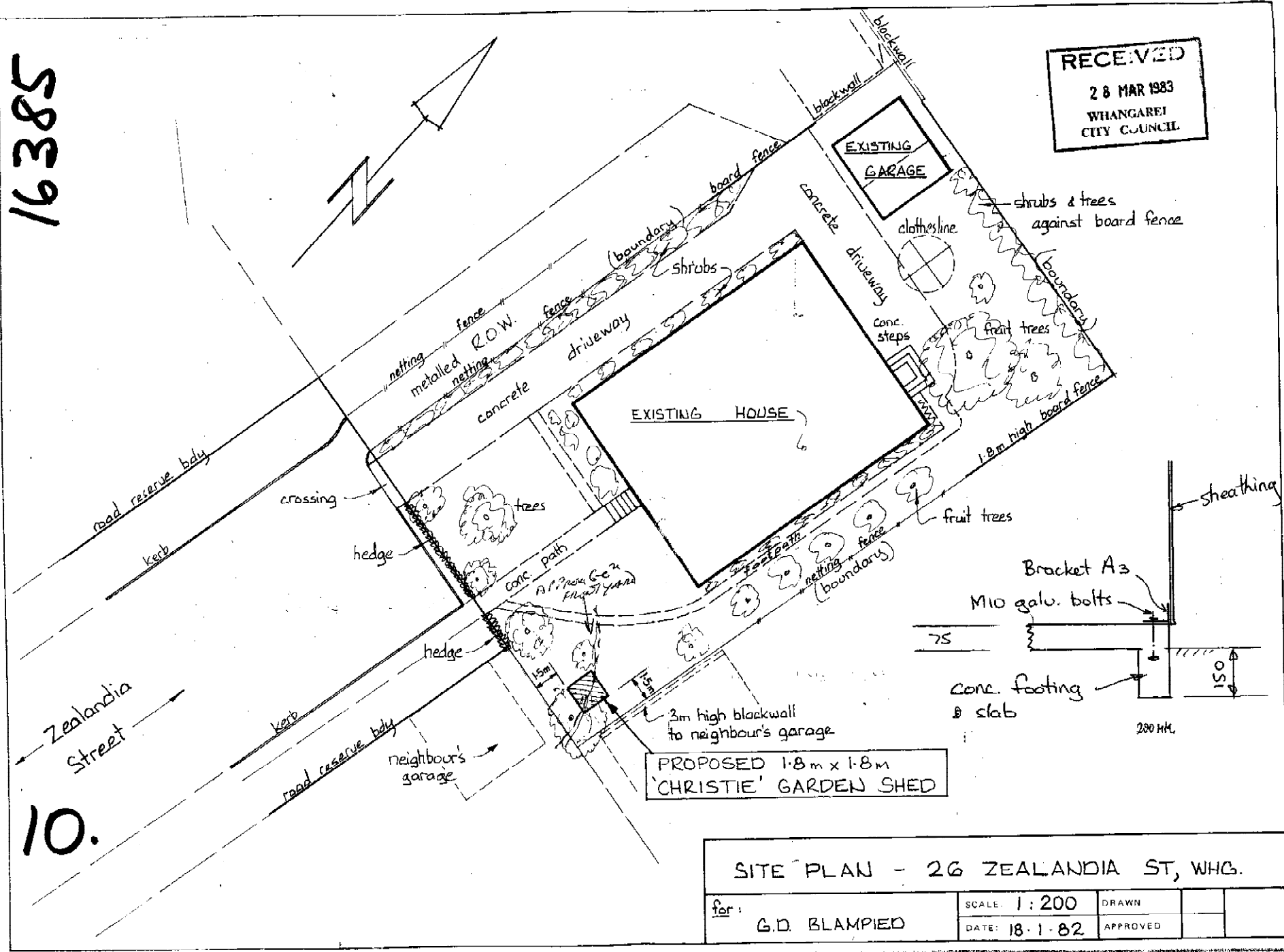
Proposed use or occupancy of other parts of buildings N/A.

Nature of ground on which building is to be placed and on the subjacent strata Volcanic

PLEASE PRINT		OWNER'S AGENT	
OWNER	BUILDER	NAME	
NAME <u>G. D. BLAMPED</u>	NAME	NAME	
POSTAL ADDRESS <u>26 ZEALANDIA ST</u> <u>WHANGAREI</u>	POSTAL ADDRESS	POSTAL ADDRESS	
PHONE <u>71752</u>	PHONE	PHONE	
Date <u>28/3/83</u>	108	<u>G. D. Blamped</u> Signature	

16385

RECEIVED  
28 MAR 1983  
WHANGAREI  
CITY COUNCIL



Zealandia Street

10.

EXISTING HOUSE

EXISTING GARAGE

PROPOSED 1.8m x 1.8m 'CHRISTIE' GARDEN SHED

SITE PLAN - 26 ZEALANDIA ST, WHG.			
for:	SCALE: 1:200	DRAWN	
G.D. BLAMPIED	DATE: 18.1.82	APPROVED	

13/5

16385

WHANGAREI CITY COUNCIL

PERMIT NUMBER  
31/5/83

FILE NUMBER  
2457

RECEIVED  
5. MAY 1983  
WHANGAREI  
CITY COUNCIL

BUILDING APPLICATION FORM

Please Note that any person wishing to take a vehicle over footway other than a proper crossing constructed for such purpose, shall apply to the Council for a permit to do so and shall pay the appropriate deposit.

To: The CITY Engineer

I hereby apply for permission to ERECT A CARPORT  
at 26 ZEALANDIA ST for G.D. Blampied  
(House Number and Street) (Owner)  
at 26 ZEALANDIA ST according to locality plan and detail plans, elevations  
(Address)

cross-sections and specifications of building deposited herewith in duplicate

**PARTICULARS OF LAND:** Assess. No. 72/513 Lot No. 2 D.P. 48746  
**LENGTH OF BOUNDARIES:** Front \_\_\_\_\_ Area \_\_\_\_\_  
Back \_\_\_\_\_  
Side \_\_\_\_\_ Side \_\_\_\_\_

**PARTICULARS OF BUILDING:** Foundations CONCRETE Floors \_\_\_\_\_  
Walls PIPE SUPPORTS Roofs IRON  
Area of Ground Floor 35.7 m<sup>2</sup> (Metres) Area of First Floor or Mezzanine \_\_\_\_\_ (Metres)  
Area of Basement \_\_\_\_\_ (Metres) Area of Outbuildings \_\_\_\_\_ (Metres)  
Number of Storeys: Above kerb level ONE Below kerb level \_\_\_\_\_  
Average distance of set back of front of buildings from streetboundary line \_\_\_\_\_

**ESTIMATED VALUE:**  
Building \$ 1000.00  
Sanitary Plumbing \$ \_\_\_\_\_  
Sanitary Drainage \$ \_\_\_\_\_  
Total \$ 1000.00

OFFICE USE ONLY  
FEES PAID BY OWNER/BUILDER/OWNER'S AGENT

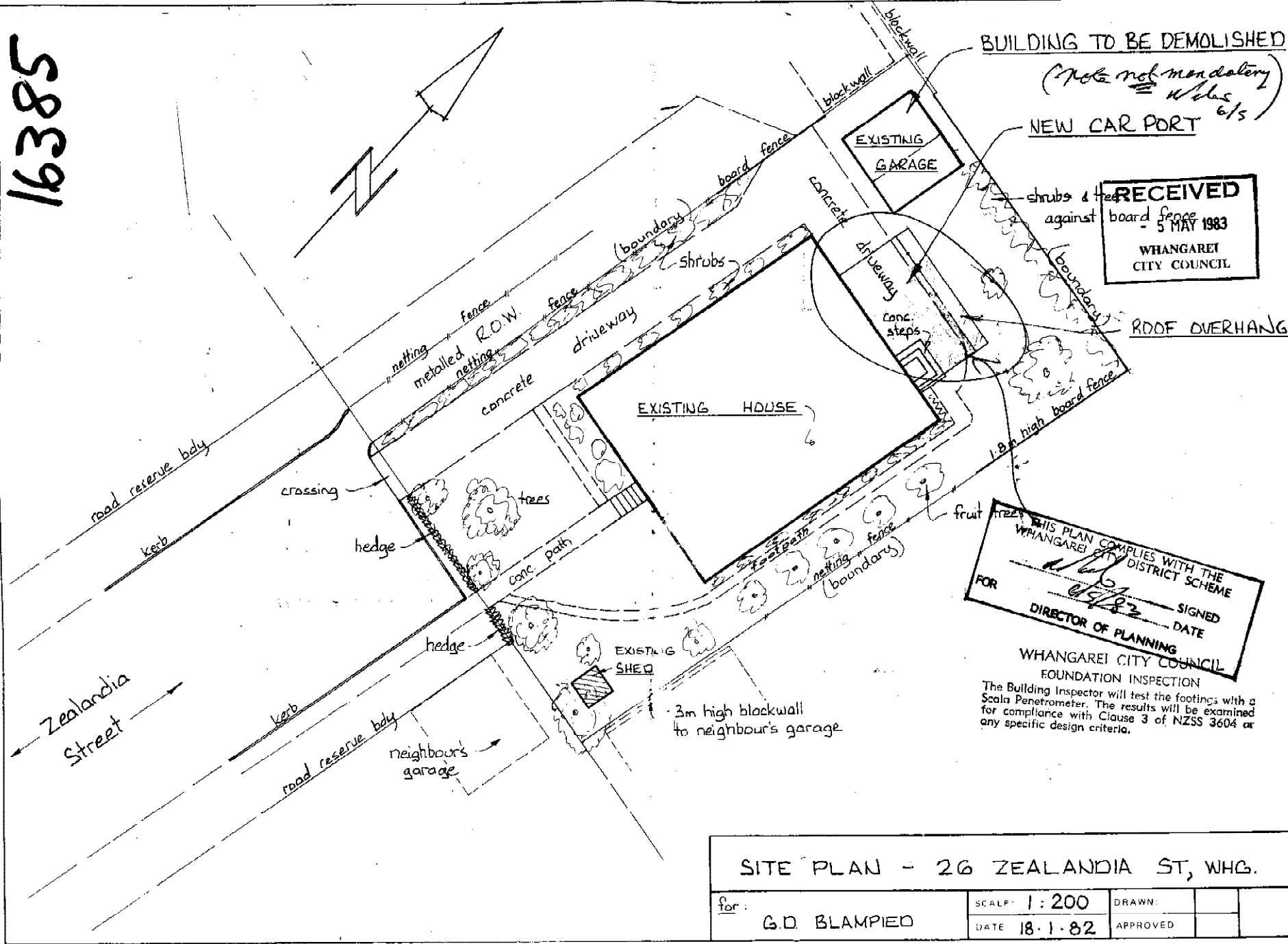
Proposed purpose for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) CARPORT

Proposed use or occupancy of other parts of buildings PRIVATE DWELLING

Nature of ground on which building is to be placed and on the subjacent strata VOLCANIC

PLEASE PRINT			
OWNER		UILDER	OWNER'S AGENT
NAME	<u>G.D. BLAMPID</u>	NAME	<u>G.D. BLAMPID</u>
POSTAL ADDRESS	<u>26 ZEALANDIA ST WHANGAREI</u>	POSTAL ADDRESS	<u>26 ZEALANDIA ST WHANGAREI</u>
PHONE	<u>71752</u>	PHONE	<u>71752</u>
Date	<u>5-5-83</u>		<u>G.D. Blampied</u> Signature

16385



BUILDING TO BE DEMOLISHED  
*(Note not mandatory unless 6/5)*  
 NEW CAR PORT

**RECEIVED**  
 against board fence  
 5 MAY 1983  
 WHANGAREI CITY COUNCIL

THIS PLAN COMPLIES WITH THE  
 WHANGAREI DISTRICT SCHEME  
 FOR  
 18/1/82  
 SIGNED  
 DATE  
 DIRECTOR OF PLANNING  
 WHANGAREI CITY COUNCIL

FOUNDATION INSPECTION  
 The Building Inspector will test the footings with a  
 Scala Penetrometer. The results will be examined  
 for compliance with Clause 3 of NZSS 3604 or  
 any specific design criteria.

SITE PLAN - 26 ZEALANDIA ST, WHG.

for:	SCALE: 1:200	DRAWN:	
G.D. BLAMPIED	DATE 18.1.82	APPROVED:	



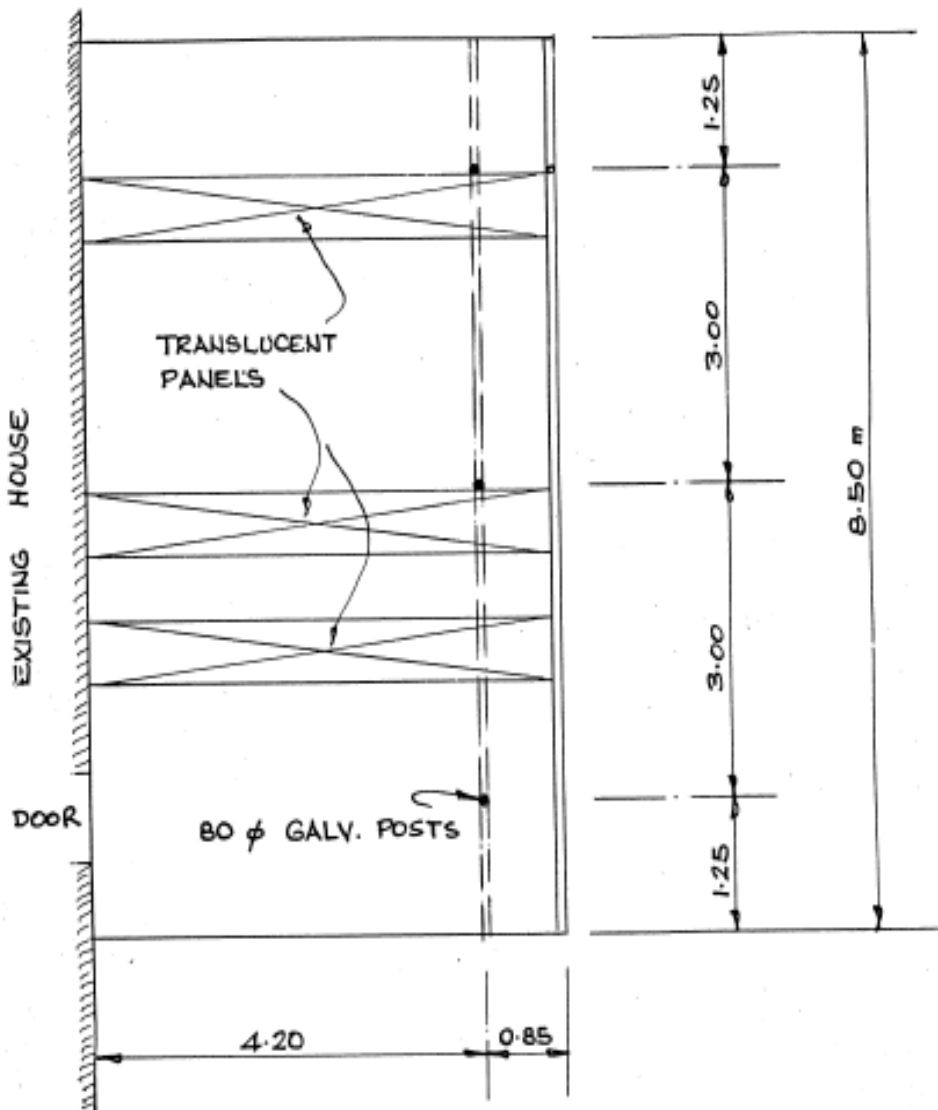
MICROBOX

MICROFILM RECORDS (WAIKATO) LTD, HAMILTON

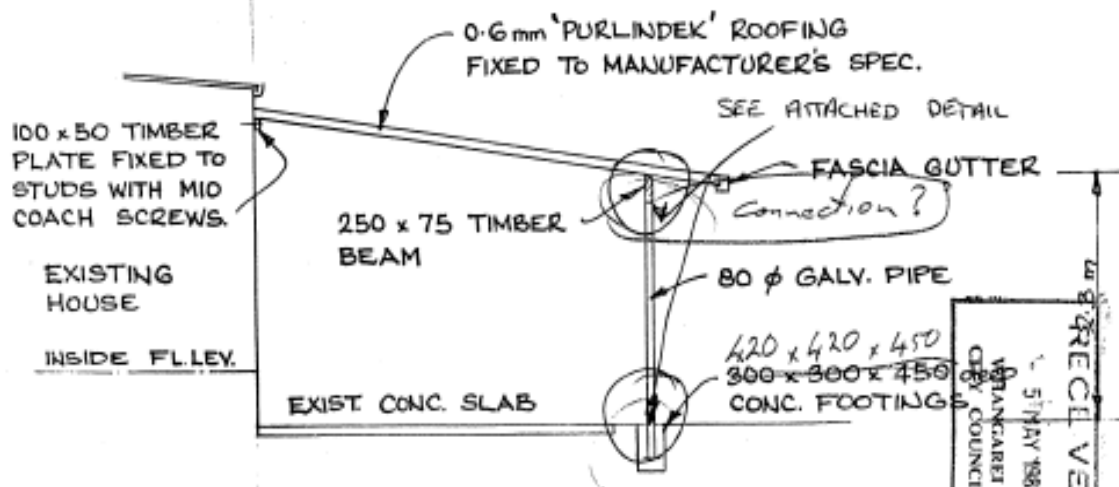
13/9/93



16385

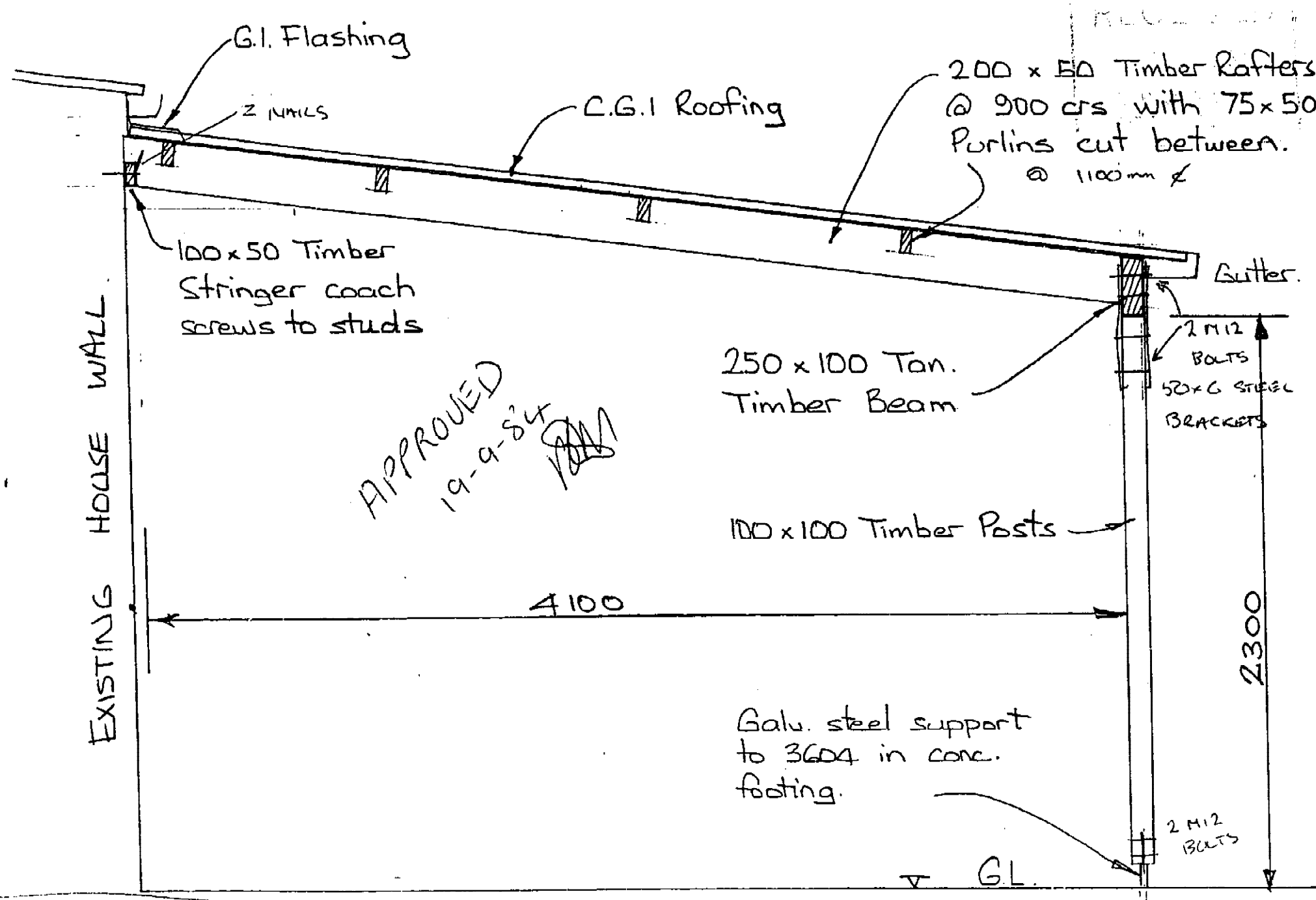



ROOF PLAN (1:50)



CROSS SECTION (1:50)

PROPOSED CARPORT at 26 ZEALANDIA ST, WHANGAREI



APPROVED  
 19-9-84  


13 LAMPED  
 26 Z FALINDIA ST

AMENDED CROSS SECTION (1:20)

**Issue Document**

BUILDING CONSENT No: 65526  
Section 35, Building Act 1991  
Issued: 28 May 03  
Project Information Memorandum No: 65475

**65526****Applicant**

JESSIE WILSON  
26 ZEALANDIA ST  
WHANGAREI 0101

**Agent**

VIC EDDINGTON  
PO BOX 8095  
KENSINGTON  
WHANGAREI

**Site Information**

PROPERTY ID: 048629 P16385  
STREET ADDRESS: 26 ZEALANDIA ST, WHANGAREI 0101  
LEGAL DESCRIPTION: LOT 2 DP 48746

**Project Information**

PROJECT IS FOR: Alteration  
INTENDED USE(S): WET AREA SHOWER  
INTENDED LIFE: Indefinite but not less than 50 years  
VALUE OF WORK: \$7,400.00  
NUMBER OF STAGES: 1

**Fees**

COUNCIL'S TOTAL CHARGES FOR THIS BUILDING CONSENT ARE: \$128.00  
PAYMENTS RECEIVED TO DATE:  
Receipt number: 2461491 Date: 27 May 03 Amount: \$128.00

This Consent is issued subject to the following conditions:  
=====

**1: General**

No Requirements.

**2: Dust Nuisance**

The applicant must control dust nuisance created by any site or building works.

**3: Toilet Facilities**

Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.

**4: Smoke Alarms**

Smoke alarms are to be installed in compliance with the building code.

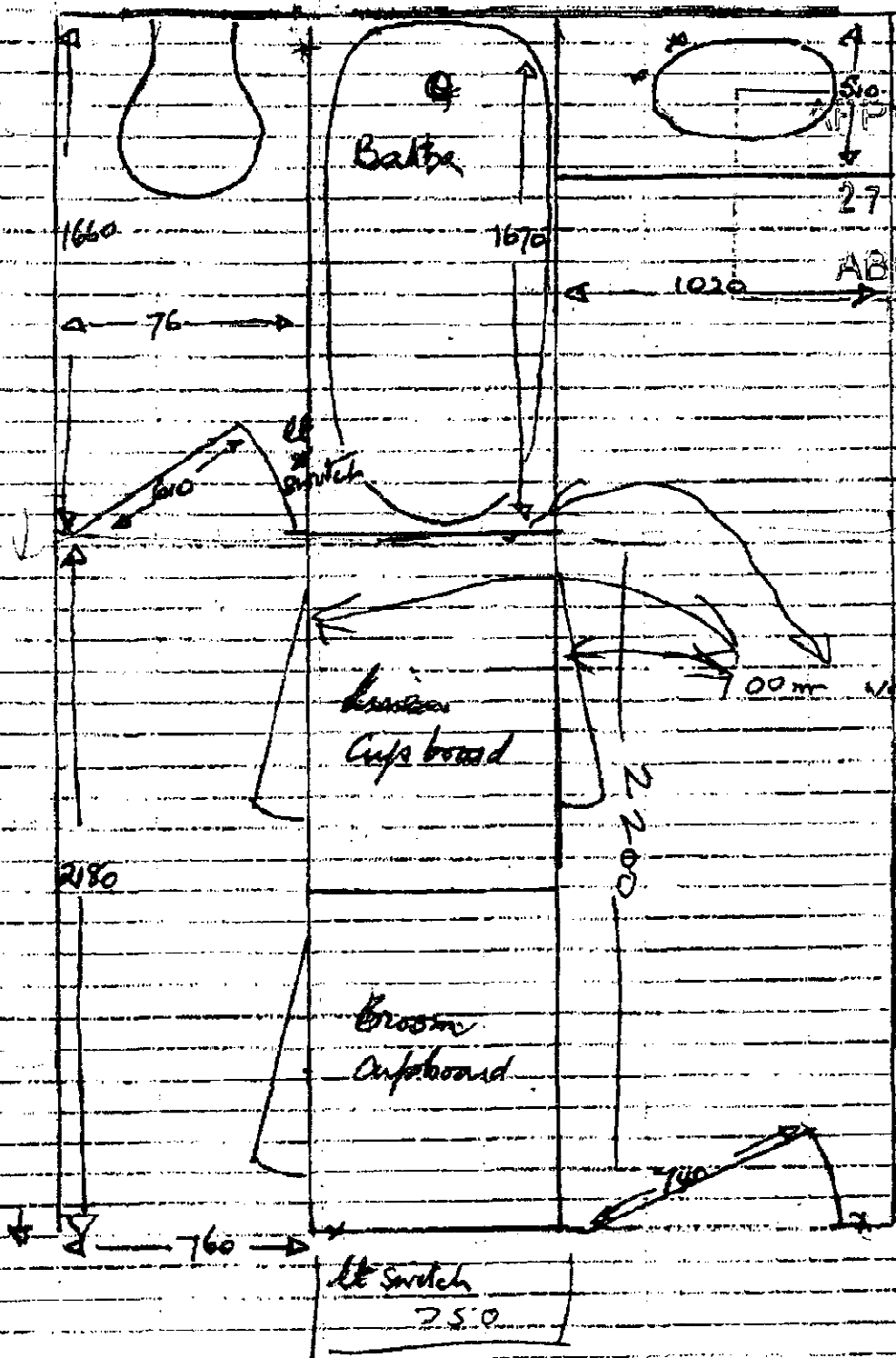
Signed for and on behalf of the Council

Name: *C. Bakerley* .....

Signature:  .....

Date: *28* *PSP3* .....

Window 1720



APPROVED 27.50

27 MAY 2003

ABCLTD

RECEIVED

23 MAY 2003

WHANGAREI DISTRICT COUNCIL

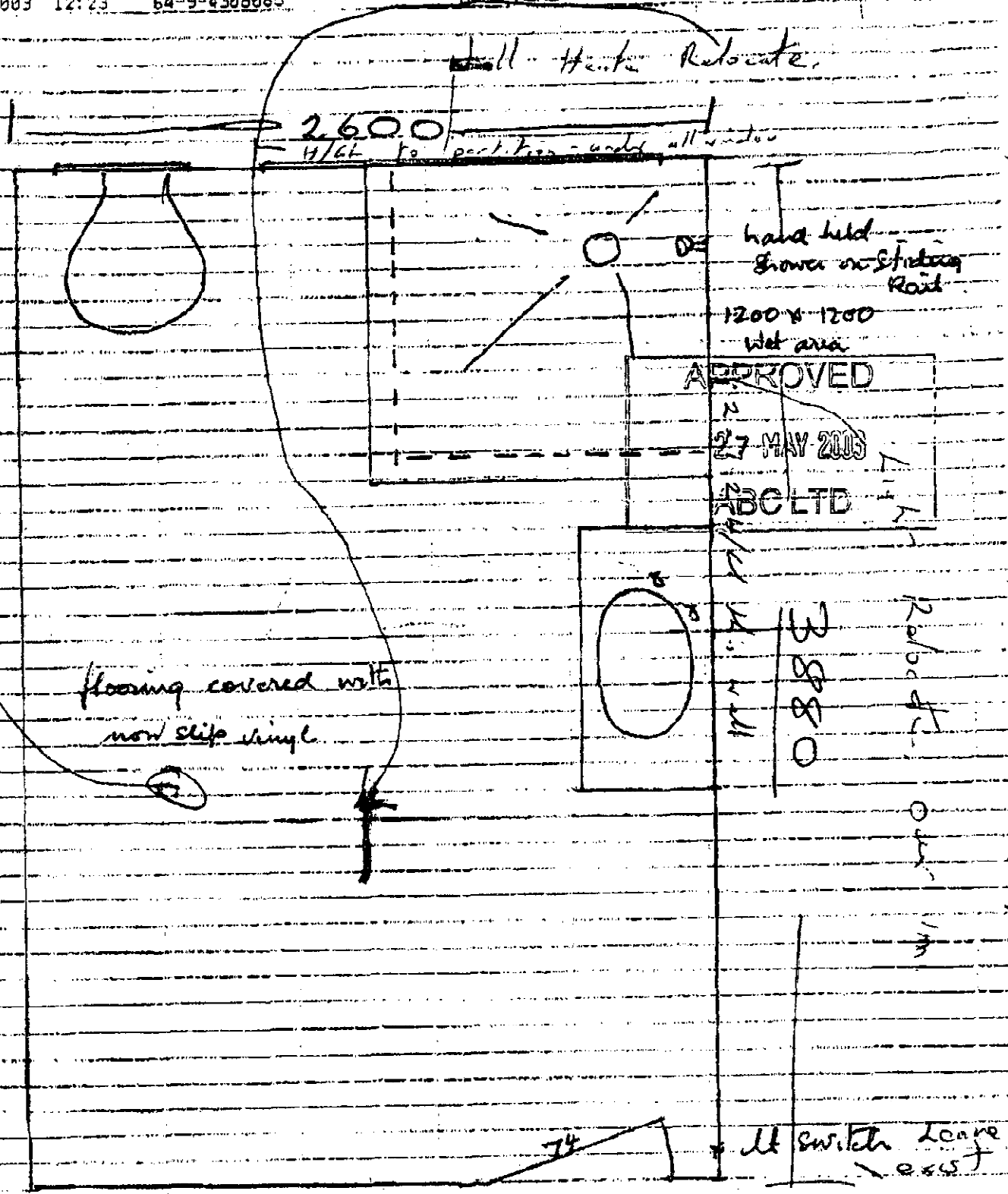
Total length 2550

Width of hallway 1320

Existing layout

RECEIVED  
 VIC EDINGTON BUILDER  
 BOX 8095 KENSINGTON  
 GST 65-725 673  
 PHONE FAX 4375528

Wilson  
26 20 Zealandia St



Sand & Lay Hallway

VIC EDDINGTON BUILDER  
BOX 8095 KENSINGTON  
GST 85 725 873  
PHONE FAX 4375528

Mrs Wilson

26 Zealandia  
Wilson

Suggested

St  
exist galv pipes

Sand/Lay  
- Coverd

RECEIVED  
27 MAY 2005  
ABC LTD



# Approved Building Certifiers Northland Ltd

## Code Compliance Certificate No H666

Section 56, Building Act 1991

CS-03 F5 Issue 03

Issued by Approved Building Certifiers Northland Ltd currently approved and registered as a building certifier in New Zealand.

To: **Whangarei Council**

Building Consent No: **65526**

Project Information		Project Location	
New or Relocated Building	No	Street Address:	
Alteration	Yes	<b>26 Zealandia Street</b>	
Type of Project		<b>Kensington</b>	
<b>Wet area shower</b>		<b>Whangarei</b>	
Intended Use(s):		Legal:	Lot <b>2</b>
<b>Residential</b>		Description:	DP <b>48746</b>
Intended Life:			CT
<b>Indefinite but not less than 50 years</b>			
Demolition	No		
Being stage of an intended stages.			

NB: Normal maintenance of building elements is necessary to achieve the durability requirements of the New Zealand Building Code.

This is:

A final code compliance certificate issued in respect of all of the building work under the above building consent.

Signed by or for and on behalf of the building certifier

Signature:

Name:

Neil Boler

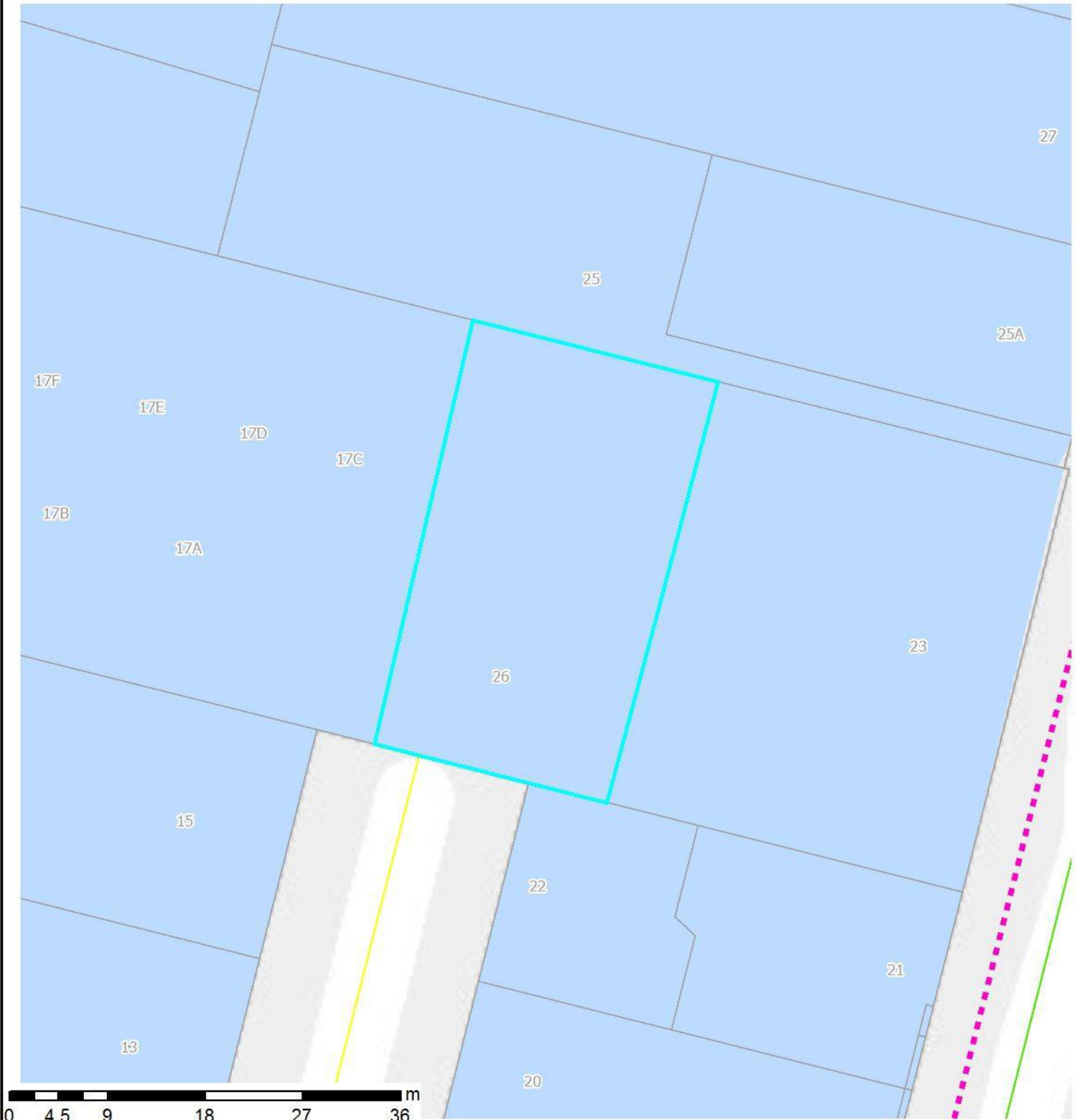
Position:

Director

Date:

Jun 30, 2003

# District Plan Environments



<ul style="list-style-type: none"> <li> Coastline</li> <li> Rescue Helicopter Flight Path</li> <li> Northpower Tower CEL-Cat1</li> <li> National Grid Tower</li> <li> Northpower Overhead Critical Line CEL-Cat1</li> <li> National Grid Line</li> <li> Northpower Critical Overhead Lines CEL</li> <li> Northpower Critical Underground Lines CEL</li> <li> Indicative Roads</li> <li>Road Hierarchy             <ul style="list-style-type: none"> <li> State Highway</li> <li> Arterial</li> <li> Collector</li> <li> Local</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li> Multi Title Site</li> <li> Designation</li> <li> Papakainga</li> <li> Scheduled or Overlay Area</li> <li>Overlays             <ul style="list-style-type: none"> <li> Oil Refinery Overlay Area</li> <li> Living Overlay Area</li> </ul> </li> <li>Future Environments             <ul style="list-style-type: none"> <li> Future Marine Village</li> <li> Future Environment</li> </ul> </li> <li>Environ: Business, Living, etc             <ul style="list-style-type: none"> <li> Business 1</li> <li> Business 2</li> <li> Business 3</li> <li> Business 4</li> <li> Town Basin</li> <li> Port Nikau</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Environ: Business, Living, etc contd.</li> <li> Marsden Point Port</li> <li> Airport</li> <li> Living 1</li> <li> Living 2</li> <li> Living 3</li> <li> Kamo Walkability</li> <li> Marsden Primary Centre</li> <li> Urban Transition</li> <li> Ruakaka Equine</li> </ul>	<ul style="list-style-type: none"> <li> Rural (Urban Expansion)</li> <li> Rural Living</li> <li> Rural Production</li> <li> Rural Village Centre</li> <li> Rural Village Industry</li> <li> Rural Village Residential</li> <li> Strategic Rural Industry</li> <li> Fonterra Kauri Milk Processing SRIE</li> <li> Open Space</li> </ul>
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Thursday, October 15, 2020      Scale: 1:500

The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed. Cadastral Information has been derived from land Information New Zealand's (LINZ) Core Record System Database (CRS). CROWN COPYRIGHT RESERVED. © Copyright Whangarei District Council.



# District Plan - Plan Changes



- Decision Strategic Road Protection Area
- Decision Indicative Roads
- Decision Road Hierarchy
  - National
  - Regional
  - Arterial
  - Primary Collector
  - Secondary Collector
  - Access
  - Low Volume
- Appeals ENV2020AKL
  - Appeals - NZTA and KiwiRail
  - Appeals - Kainga Ora
  - Appeals - Other

- Decision Zones
  - Large Lot Residential Zone
  - Low Density Residential Zone
  - General Residential Zone
  - Medium Density Residential Zone
  - Neighbourhood Centre Zone
  - Local Centre Zone
  - Commercial Zone
  - Shopping Centre Zone
  - Mixed Use Zone
  - Waterfront Zone
  - City Centre Zone
  - Light Industrial Zone
  - Heavy Industrial Zone
  - Airport Zone
  - Hospital Zone
  - Port Zone
  - Precinct

- Decision Zones Continued
  - Rural (Urban Expansion)
  - Rural Living
  - Rural Production Zone
  - Rural Village Centre
  - Rural Village Industry
  - Rural Village Residential
  - Strategic Rural Industry

- Fonterra Kauni Milk Processing SRIE
- Ancillary Irrigation Farms
- Development Area
- Marsden Primary Centre
- Ruakaka Equine
- Open Space Zone
- Sport and Active Recreation Zone
- Natural Open Space Zone

Thursday, October 15, 2020

Scale:1:500



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APPLICATION FOR WAIVER OR DISPENSATION OF BULK AND LOCATION AND/OR PROVISION OF PARKING AND LOADING SPACES AND/OR DESIGN, PROVISION AND APPEARANCE OF BUILDINGS, SIGNS, VERANDAHS AND LANDSCAPING UNDER SECTION 76 OF THE TOWN & COUNTRY PLANNING ACT 1977

Owner: G.D. BLAMPFIED

Site File: 3712

Address: 26 ZEALANDIA PLACE (LOT 2 D.P. 48746)

*D.P.* →

Date: 30 MARCH 1983

Proposal: An application to erect a 3.4m<sup>2</sup> garden shed that would in part intrude a maximum of approximately 1.5m into a prescribed 6.0m front yard over a distance of approximately 2.0m.

Inspecting Officer reports:

The property is a front site of 36.1 perches/913m<sup>2</sup> located in a Residential 3 zone in Council's Proposed Reviewed District Scheme and is at the very end of a sharply cut off no-exit street.

In view of the development of accessory buildings on the two affected adjoining properties the shed will not be seen from the street and only from part of the adjoining Zealandia Street property (the other is off Mains Avenue) and in my opinion the effect of the intrusion will be of most minimal consequence.

In terms of Section 76 (2) I consider both conditions (a) and (b) precedent for consent are satisfied.

In my opinion in view of the circumstances of the adjoining development it would be unreasonable for Council to require - as provided for in Subsection (3) of Section 76 - that the written consents of any affected bodies or persons be obtained.

I recommend that Council grant its consent subject to:

- (a) Compliance with all relevant Acts, Bylaws and Regulations.
- (b) That the consent shall lapse after the expiration of a period of two years from the date when the consent was given.

*[Handwritten signature]*

(E.R. Allbon)  
Director of Planning

per: J.E.G. Peters

*[Handwritten mark]*

COUNCIL'S DECISION: The applicant be advised, that pursuant to the provisions of Section 76 of the Town and Country Planning Act 1977 and for the reasons given in the foregoing report:

EITHER (a) Council's consent has been granted subject to the conditions of the foregoing recommendation.

OR *KWK* (b) ~~Council's consent has not been granted.~~

OR *KWK* (c) ~~The Council has decided in the circumstances that it cannot "exercise its powers" on this application which has been made without notice. Consequently it is necessary the applicant request the Council to "notify" the application as prescribed in Section 37 of the Town and Country Planning Act 1977 if the applicant wishes to proceed.~~

Signed: *KWK King*  
(Acting under delegated authority)

Date: 31/3/83

Applicant's plans and original copy of this decision forwarded to the Director of Engineering

Date: 31/3/83