

Pre-sale Building Inspection Report

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RED LBP PRE-PURCHASE REPORT

- ✔ Completed by a trade professional
- ✔ Complies with NZS 4306:2005 Residential Property Inspection
- ✔ Full comprehensive written report
- ✔ Non-invasive moisture testing
- ✔ Floor level spot checked
- ✔ Summary identifying any significant faults or defects

PRE-PURCHASE



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PRE-PURCHASE BUILDING REPORT

Property Address	126 Kohinui Road, Parua Bay, Whareora, Northland, 0192, NZL		
Client	Ryan and Jessica Howard		
Date of Inspection	6th December 2023	Time	1:00 pm
Inspector	Jamie Mackintosh Licensed Building Practitioner Brick & Block		
LBP Number	116085		
Additional Information			
People Present	Inspector, Agent, Owner		
House Occupied	Yes		





CERTIFICATE OF INSPECTION IN ACCORDANCE WITH NZS 4306:2005

REDLBP.
BUILDING REPORTS & PROPERTY INSPECTIONS

Company: Northland Inspections trading as RedLBP

Client: Ryan and Jessica Howard

Date of Inspection: 6th December 2023

Site Address: 126 Kohinui Road, Parua Bay, Whareora, Northland, 0192, NZL

Inspector: Jamie Mackintosh

Qualifications: Licensed Building Practitioner Brick & Block

The following areas of the property have been inspected:

Inspection	Yes	No	Limited	N/A
Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Subfloor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Exterior	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Roof Space	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Interior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Accessory Units, Ancillary Spaces and Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Any limitations to the coverage of the inspection are detailed in the written report.

Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspections - and I am competent to undertake this inspection.

Name: Jamie Mackintosh

Date: 6th December 2023

Signature:

(for and on behalf of REDLBP)

An inspection that is carried out in accordance with NZS 4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.

Note * please refer to TERMS of ENGAGEMENT

LIMITATIONS, CONDITIONS, REPORT TYPES & SCOPE OF REPORT

PURCHASE BUILDING REPORT

This report has been generated through a non-invasive inspection and is intended to provide recommendations solely on visible items. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report.

This report is not a weathertight report. Please note that although moisture readings will be taken and will be reported on if they are deemed to be outside of a general tolerance, this does not replace the recommendations of a trade qualified weathertightness expert, and any readings taken are of a non-invasive type only.

1) The scope of the report will be limited to:

- a. Significant defects
- b. Particular attributes
- c. Gradual deterioration; and
- d. Significant maintenance required

2) It will exclude:

- a. Legal title
- b. Building warrant of fitness and services prescribed on a compliance schedule
- c. Planning, resource consent issues
- d. Building consent issues
- e. Long term maintenance planning
- f. Rental property tenancy inspections
- g. Heritage obligations
- h. Compliance the Body Corporate rules, the terms of memorandum of cross lease or a company title occupation agreement.
- i. LIM – Land Information Memorandum

GENERAL

This report has been completed via a non-invasive inspection and provides recommendations only to items that were able to be seen. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report. The report is to be used by the client only as guidance for evaluation of the condition of the premises and is not intended as an all-encompassing report dealing with the premises from every aspect. The report is not intended to provide an indication of value, worth or suitability of the premises. This report should be seen as a general guide from a qualified trade professional providing a snapshot of the property and its elements. It is not designed to advise a potential buyer on the advisability of purchase,

rather to provide enough information to satisfy the client and the lender on the elements of the property from a general perspective. Where qualified building recommendations have been inappropriate, recommendations from sub-trade experts have been given and noted. The experts may include electrical inspectors, weathertightness experts, engineers, and surveyors.

The inspection should not be misused as a form of compliance inspection as per the local authorities, nor should it be used as any guarantee or warranty of the present or future adequacy or integrity of any of the systems reported on in the property. Any descriptions presented within this report, are based on trade knowledge and experience. These should be taken as general estimates only, based on the opinion of the qualified LBP completing the report and there may be cause for variation. Should any disputes arise due to the content of this report, this will be actioned as per the terms and conditions accepted at the time of booking the inspection. In all inspections, the inspector will not touch or move vendor's, tenant's or occupant's possessions or other items within the house and RedLBP inspectors will not be responsible for linings, flooring and other areas not able to be seen because of such possessions or items obscuring line of sight observations. This applies equally where carpeting, mats and so on might be obscuring/covering a view of any issues or defect in concrete or wooden flooring. The Inspector shall not disassemble equipment, or undertake any intrusive or destructive inspection, moving of furniture, appliances or stored items, or excavation. The report is valid only for a period of 30 days after release to the client, after which time the premises will require re-inspection to determine the currency of the report together with any changed circumstances which may affect the premises.

This report contains information obtained by inspection, sampling, testing or other means of investigation. Unless specifically stated otherwise in this report, RedLBP has relied on the accuracy, completeness, currency, and sufficiency of all information provided to it by, or on behalf of, the client or any third party, and has not independently verified the information provided. RedLBP accepts no responsibility for errors or omissions in, or in the currency or sufficiency of, the information provided.

The assessment of any apparent defect which may occur intermittently or usually occurs after regular use will not be reported nor any defect that is only evident with prevailing weather.

This report must be read in its entirety, it may not be reproduced in part by any individual.

Only the named owner of the report may use the information contained within the report.

The purchaser of this report has purchased the right to review the information contained within the report. All information remains the sole property of RedLBP Ltd.

Written reports completed by Red LBP follow the voluntary standard NZS4306:2005.

Note. This report has been produced as a result of a visual-only inspection of what was seen at the time and day of the inspection. The report is general in nature and is not intended as a substitute for professional advice. Nor does it purport to a survey plan of the site of the building. If further clarification is needed on any comments or any explanation at all, is required on any part of the report or photos then please contact the writer as soon as possible.

EXECUTIVE SUMMARY

The overall condition of the house is average. This is in context of the average condition of similar buildings of approximately the same age, type of construction and material type.

The dwelling was originally built in the 2000's.

Areas not inspected or accessed fully - Roof space and roof system.

The reason for not inspecting these - Not able to be viewed safely from a 3.6 metre ladder and confined space.

All attempts will be made to safely view, but if unable to inspect the areas, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

A confined space:

- is an enclosed or partially enclosed space and
- is not intended or designed primarily for human occupancy and
- may present a risk from one or more of the following at any time:
 - : unsafe concentration of harmful airborne contaminants
 - : unsafe concentration of flammable substances
 - : unsafe levels of oxygen
 - : substances that can cause engulfment
 - : harmful or toxic substances

The property is in average condition for its age and has been well maintained over its life with some minor issues as detailed within the report, these do not require immediate attention and can be attended to as part of routine maintenance.

PROPERTY IDENTIFIERS

Address	126 Kohinui Road, Parua Bay, Whareora, Northland, 0192, NZL
Legal Description	LOT 5 DP 328817 BLKS XIV XV WHANGAREI SD
Certificate of Title	117660
Land classification	Wind Zone - High - BRANZ - GIS
Weather	Fine
Soil	Dry
Site Exposure	Exposed

BUILDING DESCRIPTION

The property was originally built in the 2000's and is located in Parua Bay. It is a freehold title situated on a rural section that is sloping.

The dwelling is one storey with four bedrooms and two bathrooms. Internally, the property has heating that consists of a central heating system. The water system is heated by an electric hot water cylinder. The internal linings are plasterboard and are decorated with paint and wallpaper. The floors are concrete with floor coverings being vinyl and carpet.

The foundation system is a concrete slab on grade with the dwelling being of timber construction. The exterior joinery is aluminium and is double-glazed. The property is clad with brick veneer with a factory finish. The roof is masonry tiles.

There is a garage that is attached to the house, with double capacity and internal access. The driveway is concrete.

Generally, the property has a living aspect of east and includes hard landscaping that consists of a deck. Soft landscaping of lawn, gardens and mature trees.

BUILDING ELEMENTS

The following is a summary of the building elements inspected:

Type	Inspected
Weathertight Risk Matrix	
Weathertightness risk	Viewed
Foundation	
Type C2 - Timber framed dwelling on concrete floor with heavy-weight cladding.	Limited access
Wall Framing	
Timber framed - wall	Not viewed
Roof Space	
Timber framed - roof	Limited access
Interior Linings	
Plasterboard ceiling and wall linings, timber trims and doors, carpet and vinyl floor coverings.	Viewed
Living room	Viewed
Lounge	Viewed
Entrance	Viewed
Bedroom 1	Viewed
Ensuite	Viewed
Bedroom 2	Viewed
Bedroom 3	Viewed
Bedroom 4	Viewed
Kitchen	Viewed
Bathroom	Viewed
Garage	Viewed
Roof System	
Masonry tiles	Limited access
Flashings & penetrations	Limited access
Guttering, downpipes, fascia & soffits	Limited access
Exterior Cladding	
Brick veneer	Viewed
Exterior Joinery	
Double-glazed aluminium joinery with timber reveals.	Viewed
Outbuildings	
Outbuilding	Viewed

Weathertight Risk Matrix

Homeowners weathertightness risk assessment.

Weathertightness is the ability of a building's external cladding and components to prevent external moisture ingress to enter the internal of the building.

Wind zone - High = 1 (scoring range of 0-2).

Number of stories - One storey = Low risk - 0 (scoring range of 0-4).

Roof/wall intersection design - Low risk - roof-to-wall junctions fully protected (e.g. hip or gable roof with eaves) = 0 (scoring range of 0-5).

Eaves width - Low risk - greater than 600 mm single storey = 0 (scoring range of 0-5).

Envelop complexity - Medium risk - Moderately complex, angular or curved shapes (e.g. Y or arrowhead) with no more than two cladding types = 1 (scoring range of 0-6).

Deck design - Low risk - None, timber slat deck, or porch at ground level = 0 (scoring range of 0-6).

Total Risk matrix score - 2.

Philosophy of risk assessment

The development of the risk assessment approach taken in E2/AS1 is based on work undertaken in 1999 by two Canadians, architect Don Hazeldon and building scientist Paul Morris. They developed a simple concept called the 4Ds to describe four basic principles of water management in buildings.

Deflection: keeping water away from potential entry points.

Drainage: providing means of removing water that does enter.

Drying: allowing any remaining moisture to be removed by ventilation or diffusion, and

Durability: providing materials with appropriate durability.

As per the guidance document for Acceptable Solution E2/AS1 ("E2/AS1") for Clause E2 External Moisture of the New Zealand Building Code.

Recommendations:

The weathertight risk matrix is for design purposes, although it allows us to consider the home's weathertightness it does not reflect the condition of the home.

Foundation

Type - C2 - Timber-framed dwelling on a concrete floor with heavyweight cladding.

Height above finished ground - Over 150 mm around the perimeter.

The minimum heights of the floor above the ground should be maintained at 150 mm to paved ground, 225 mm to unpaved ground

Cracking - None observed.

Dampness - None visible at the time of inspection.

Recommendations:

The floor levels were checked using a self-levelling laser. All within BRANZ recommendations.

Concrete slab surface level - Within 6 months of new, BRANZ suggests concrete slabs be level to within ± 10 mm of the specified floor level in any one room or space.

The maximum permitted surface deviation is ± 3 mm in any 3 m of length.

NZS 3109-1987 IN STIU CONSTRUCTION

- Length and height of component -

- $L < 0.5$ mtr = ± 10 mm,

- $L < 1.5$ mtr = ± 12 mm,

- $L < 3.0$ mtr = ± 15 mm,

- $L < 10.0$ mtr = ± 20 mm ,

- $L < 10.0$ mtr = $\pm 0.002L$.



Photo 3

Masonry block foundation.



Photo 4

Floor levels checked using a self levelling laser level.

Wall Framing

Timber due to age and construction type.

Readings using a Flir MR59 non-invasive moisture tester were taken from a minimum of three points from inside of all exterior walls and wet areas where accessible i.e. around all windows, doors, bottom plates and wet areas.

No elevated moisture readings were detected, all were normal at the time of the inspection.

The condition of the internal framing is unknown.

Recommendations:

No elevated moisture readings were detected, all normal at time of inspection.

The condition of the internal framing is unknown.



Photo 5

No elevated moisture readings at the time of inspection.

Roof Space

The ceiling space was viewed from the top of a ladder via a manhole located in the garage. Access hatch size - 500mm x 500mm.

All attempts will be made to safely view, but if unable to inspect the area, it will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference. Not all areas of the roof space structure can be seen and the purpose of our inspection is to check for any overall significant defects from a visual inspection.

Roof frame construction and connections - Manufactured timber trusses. Connections were not all visible.

Condition - No issues visible.

Roofing underlay - Bituminous self-supporting paper. Condition - No visible issues.

Obvious structural alteration - No.

Ceiling construction - Timber ceiling battens visible.

Vermin and insects - No visible signs during the inspection.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible - Unsupported.

Non-Electrical wiring - Aerial/Data - None visible.

Plumbing - None visible.

Plumbing type - Not applicable.

Insulation - Glass wool.

Thickness of insulation visible - Over 100mm.

Coverage - Blanket - Fitted between or over joists - Acceptable.

Discharges into the roof space - No.

Intertenancy fire wall - Not applicable.

Stored items - No.

Visible defects - No visible defects at the time of the inspection.

Recommendations:

As part of regular maintenance, it is advisable to conduct regular visual checks of the roof space via the manhole to identify any issues, including leaks or pest activity.



Photo 6

Roof space showing manufactured timber trusses.



Photo 7

Roof space showing glass wool insulation and modern electrical wiring.

Interior Linings

Plasterboard ceiling and wall linings with a paint and wallpaper finish, timber trims and doors with a paint finish, carpet and vinyl floor coverings.

Recommendations:

The inspection and resulting report are not intended to identify or describe minor faults or minor defects. A minor fault or minor defect is a matter which, in view of the age, type or condition of the residential building, does not require substantial repairs or urgent attention and rectification and which could be attended to during normal maintenance. Minor faults and defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes.



Photo 8

Vinyl flooring is loose/lifting in most areas. Recommend a flooring specialist report on the repairs/maintenance required.

Living room

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Vinyl.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 9

Living room.

Lounge

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 10

Lounge.

Entrance

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Vinyl.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 11

Entrance.

Bedroom 1

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Wallpaper.

Wall defects - Minor cosmetic issues.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 12

Bedroom one.

Ensuite

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Tiles - Factory finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Double-glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Vinyl.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste.

Splashback - Tiled.

Bath - Inbuilt (enclosed cradle).

Taps and waste functional - Yes.

Shower - Enclosure. Corners of the shower are leaking.

Glass type - Safety.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Heating - No.

Heated towel rail - No.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - Refer to photos.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

All wet areas, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

Recommendations:

Inbuilt baths can be prone to maintenance issues. Depending on how the bath has been installed and maintained depends on how watertight it remains and how much future maintenance it will require. Typical failure points are where the bath meets the wall and around the tap units.

It is recommended you constantly monitor these junctions to ensure damage is not occurring to the adjacent walls. No visible issues were noted during the inspection.

There is visible water leaking from the corners of the shower enclosure with water directed to these areas. Have a professional remove and install the pieces correctly to repair this issue.



Photo 13

Ensuite.



Photo 14

Both shower corners are leaking.



Photo 15

Provisions for a heated towel rail.

Bedroom 2

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 16

Bedroom two.

Bedroom 3

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 17

Bedroom three.

Bedroom 4

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 18

Bedroom four.

Kitchen

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Wallpaper.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Not applicable.

Benchtop - Sealed to cabinet/wall junction - Yes.

Benchtop material - Laminate.

Benchtops level - Yes.

Damage - None visible at the time of the inspection.

Cabinetry - Functional - Yes. Material type - Laminate.

Cabinetry requires maintenance - No.

Water hammer - No noise or vibration noted.

Sink - Leaks or visible issues - No.

Faucet functional - Yes.

Type of plumbing - PVC waste.

Heat shield - Stainless steel.

Cooktop - Gas - Checked. Functional - Yes.

Oven - Powered on only - Functioning - Yes.

Mechanical ventilation - Not applicable. Externally vented - Yes.

Garbage disposal - Not applicable.

Floor coverings - Vinyl.

Dishwasher - Functional - Yes. This was powered on only, not run through a cycle.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Panel.

Defects - None identified.

It is outside the scope of this report to check the operation and performance of the appliances, these are checked only for power connection. It is recommended that appliances are serviced regularly to ensure proper safe operation.



Photo 19

Kitchen.

Bathroom

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Wallpaper.

Wall defects - Damaged.

Exterior joinery - Aluminium - Single-glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Vinyl.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste.

Splashback - Tiled.

Bath - Inbuilt (enclosed cradle). Taps and waste functional - Yes.

Shower - Enclosure. No visible moisture issues.

Glass type - Safety.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Heating - No.

Heated towel rail - Yes.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - Refer to photos.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

Recommendations:

Inbuilt baths can be prone to maintenance issues. Depending on how the bath has been installed and maintained depends on how watertight it remains and how much future maintenance it will require. Typical failure points are where the bath meets the wall and around the tap units. It is recommended you constantly monitor these junctions to ensure damage is not occurring to the adjacent walls. No visible issues were noted during the inspection.



Photo 20

Bathroom.



Photo 21

Vanity and toilet.



Photo 22

Damage to the corner by the shower.

Garage

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Paint finished.

Wall defects - Minor cosmetic issues.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Garage door - Sectional - Double - Aluminium - Not insulated - Automatic opener functional - Yes.

Internal doors - Hollow core.

Floor coverings - None.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - Refer to photos.

Laundry

Located - Garage.

Floor coverings - None - Concrete.

Laundry tub/sink - Powder-coated metal cabinet with a stainless steel tub.

Taps & waste - Functional - Yes.

Leaks - None visible at the time of the inspection.

Type of plumbing - PVC waste.

Washing machine discharge - To the waste under the tub.

Water hammer - No noise or vibration noted.

Cabinets - Paint flaking.

Cupboards - Not applicable.

Ventilation - Opening door. Mechanical - None.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Defects - No significant issues.



Photo 23

Garage.



Photo 24

Damage to the garage window sill.



Photo 25

Laundry.



Photo 26

Paint flaking around the handles on the cabinets.

Roof System

Type of roof construction - Hip roof.

Pitch of roofs - 25 - 30 degrees.

Pitch appropriate for materials - Yes.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

All attempts will be made to safely view, but if unable to inspect, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

Masonry tile roofing

Surface finish - Factory.

Condition of surface - Moss and moulds visible on the surfaces.

Tile and mortar condition - No visible issues at the time of the inspection.

Ridges/Hips/Barges - Areas of cracking to the mortar are noted, refer to the photos below.

Recommendations:

The roof was viewed from a 3.6 metre ladder to all accessible elevations.

By including moss and mould treatment followed by painting or sealing as part of your regular maintenance routine, you can help preserve the integrity and appearance of your masonry tiled roof system. This proactive approach helps prevent potential damage and ensures the long-term performance of the roofing system.



Photo 27

Masonry tile roof.



Photo 28

Areas of moss/lichen. Informed by owner roof has been treated with a moss/lichen treatment. Signs of the treatment working.

Flashings - Flashings as per their design are never completely visible, the inspector will view all areas accessible safely from a 3.6 metre ladder or safe vantage point.

Valleys - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Hips - Viewable areas only.

Material type - Masonry.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Ridges - Viewable areas only.

Material type - Masonry.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Apron - Viewable areas only.

Material type - Lead.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Penetrations

Type - Venting.

Flashing material - Lead.

Condition - No visible issues at the time of the inspection.

Flashings - Back flashing in place.

Sealants - No visible issues at the time of the inspection.

Signs of leaking - None visible at the time of the inspection.

Recommendations:

Over time, sealants can deteriorate due to exposure to weather conditions, UV radiation, temperature fluctuations, and general wear and tear. Regular inspections of the roofing system should include a thorough examination of the sealants to identify any signs of degradation, such as cracks, gaps, or peeling.

Checking the sealants involves visually inspecting the areas where they are applied, such as around vents, chimneys, skylights, and flashings. If any issues are identified, it is essential to address them promptly to prevent further damage and maintain the integrity of the roofing system.



Photo 29

Example of a masonry hip flashing.



Photo 30

Example of minor cracking in some mortar on the hip flashings. No large cracking or movement visible.



Photo 31

Example of a metal valley flashing with metal leaf guard.



Photo 32

Example of a lead apron flashing. Functional.



Photo 33

Vent penetration with lead flashing. Functional.



Photo 34

Studio flue penetration with rubber boot and metal back flashing. Functional.

Guttering

Type - External.

Material - Profiled metal.

Snow straps - No.

Gutter guard - No.

Falls - Functional.

Fixings/brackets - Functional.

Obstructions - Clear at time of inspection.

Damage/Corrosion/Leaks - None visible at the time of inspection.

Adequate outlets - Yes - No visible issues.

Rainwater heads and droppers - No visible issues at the time of the inspection.

Moss and or lichen visible on or in the guttering system - None visible at the time of the inspection.

Downpipes

Material - PVC.

Fixings - No visible issues at the time of the inspection.

Brackets - No visible issues at the time of the inspection.

Damage - No visible issues at the time of the inspection.

Corrosion - Not applicable.

Spreaders - Not applicable.

Leakage, blockages & discharge - No visible issues at the time of the inspection.

Fascia & bargeboards

Material - Timber.

Finish - Paint.

Damage & corrosion or rot - No visible issues at the time of the inspection.

Soffits & eaves

Material - Fibrous cement sheeting.

Finish - Painted.

Damage, rot or corrosion - No visible issues at the time of the inspection.

Soffit width from cladding to fascia - 500 - 600mm.

Eaves & soffit widths measured from the external face of wall cladding to the outer edge of the overhang, including the fascia.

Recommendations:

The roof was viewed from a 3.6 metre ladder to all accessible elevations.

The gutters were clear at the time of the inspection. It is important to keep the gutters clear of debris to ensure proper drainage. Clogged gutters can cause water to overflow and pool on the roof or into other elements of the building, leading to potential water damage, leaks, and structural issues. Regularly removing leaves, twigs, and other debris from the gutters prevents blockages and allows water to flow freely away from the roof.



Photo 35

Example of profiled metal guttering. Clear at the time of inspection.



Photo 36

Example of timber fascia and fibre cement soffits.

Exterior Cladding

Material - Clay brick.

Erosion or spalling - None visible.

Mortar erosion/issues - None visible.

Cracking - None visible.

Lintels - Not applicable.

Loose bricks - None visible.

Brick to foundation alignment - No visible issues at the time of inspection.

Weep-holes - Clear at the time of inspection.

Vent holes - Clear at time of inspection.

Movement or cracking - None visible at the time of inspection.

Penetrations - No visible issues at the time of inspection.

Dampness or moisture damage - None visible at the time of inspection.

Lime leaching - None visible at the time of inspection.

Efflorescence - None visible at the time of the inspection.

The exterior cladding was only viewed from any visible ground-level location or from any deck or balcony on the outside of the dwelling.

Recommendations:

Regular maintenance is necessary to keep the exterior surfaces clean and free from grime and contaminants, especially in areas that are not typically washed by rain, such as below spouting and eaves. Failure to clean these surfaces can lead to accelerated deterioration of construction materials. It's important to schedule normal maintenance over the next few years.



Photo 37

West elevation.



Photo 38

Recommend trimming the bottom of the garage door liners to allow a 10mm gap to the concrete.



Photo 39

South elevation.



Photo 40

East elevation.



Photo 41

North elevation.

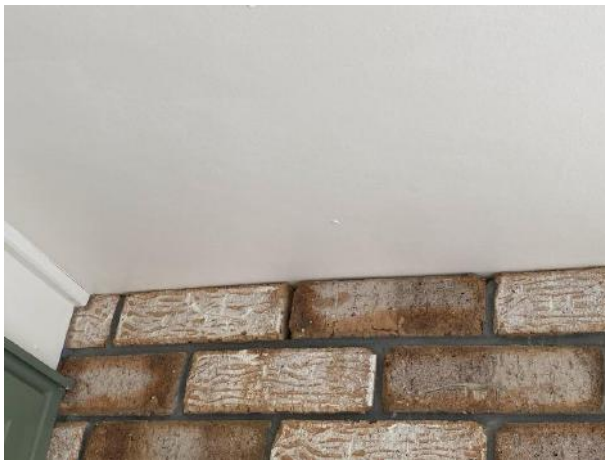


Photo 42

Vent holes clear at the time of inspection.

Exterior Joinery

Double-glazed aluminium joinery.

Coating - Powder coated.

Joinery rubbers - No visible issues at the time of inspection.

Aluminium - No visible issues at the time of the inspection.

Hardware - Functional at the time of the inspection.

Tracks, drainage channels & weep-holes - No visible issue at the time of the inspection.

Reveals - Timber.

Finish - Painted.

Damage - Moisture damage to the painted surface on the garage window sill.

Cladding/soffit junctions - No visible issues at the time of the inspection.

Exterior flashings - Head flashings installed.

Scribers and/or seals - Not applicable.

Entrance doors - Timber door with aluminium frame.

Garage joinery - Double-glazed.

Defects - Refer to the photos below.

Recommendations:

Make sure paint is maintained and moisture is kept at a minimum.

Recommend repairing the rotten window sill in bedroom four.



Photo 43

Example of double glazed aluminium joinery with timber reveals.



Photo 44

Visible rot in the corner of bedroom four window sill.



Photo 45

Damage to the garage window sill. Recommend sanding back and re-decorating.



Photo 46

Example of aluminium joinery with metal head flashings.



Photo 47

Joinery to brick side junctions have been siliconed sealed. Functional.

Outbuildings

Studio

Foundation system - Piled.

Construction - Timber.

Cladding - Plywood.

Exterior joinery - Aluminium - Double-glazed. Standard glass - Painted timber reveals.

Roofing - Profiled metal.

Linings - Plasterboard - Painted.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Internal doors - Hollow core.

Defects - None identified.



Photo 48

Studio.



Photo 49

Lounge.



Photo 50

Kitchen.



Photo 51

Bedroom.



Photo 52

Profiled metal roof with screw fixings.



Photo 53

No elevated moisture readings at the time of inspection.

NON-STRUCTURAL SYSTEMS

The following is a summary of the non-structural systems in the dwelling:

System	Type
Driveway	Concrete
Paths	Concrete
Retaining Walls	Timber
Deck	Timber
Gates	Timber framed and covering
Drainage	Gully-traps, stormwater risers, sumps
Heating.Cooling.Ventilation	Fully ducted heatpump system
Services	Services
Studio	Services

Driveway

Plain concrete.

Saw cuts - Yes.

Cracking - Areas of cracking visible.

Recommendations:

General upkeep and maintenance of driveway by cleaning and keeping free of debris.



Photo 54

Concrete driveway with brick edging. Visible cracking.

Paths

Plain concrete paths.

Recommendations:

General upkeep and maintenance.



Photo 55

Concrete stairs with timber framing and concrete path with visible cracking, runs around the water tanks on the north side of the property.



Photo 56

Concrete path running along the north and west side of the house.

Retaining Walls

Type - Timber.

Height of retaining wall - 600mm - 1200mm.

Rotation - No signs of.

Moisture - None visible at time of inspection.

Damage - No.

Recommendations:

Earth bound, visual inspection to exposed sections only.



Photo 57

Timber retaining walls, running along both sides of the driveway on the west side of the property.



Photo 58

The top rail has twisted and come away from the post in some areas.



Photo 59

Timber retaining wall located on the north side of the house.



Photo 60

Visible rot in some of the timber post tops on the retaining wall.

Deck

Timber deck over timber substrate with nail fixings.

Connected to dwelling - No.

Condition of visible timbers - No visible deterioration of timbers.

Balustrade - Not applicable.

Height of Balustrade - Not applicable.

Defects - None visible at the time of the inspection.

Recommendations:

General upkeep and maintenance.

To ensure safety and compliance, it is recommended to install handrails on any access steps in the home that have three or more steps.



Photo 61

Timber deck located off the living room, dining room and bedroom one, on the east side of the house.



Photo 62

Stain coating has worn off in most areas. Recommend re-sealing.



Photo 63

Covered timber deck and stairs located on the north side of the house.



Photo 64

Timber stairs, leading to the northern deck. Recommend installing a handrail.



Photo 65

Timber Verandah with polycarbonate roofing located on the northern deck.



Photo 66

Timber trellis privacy screen beside the spa pool.



Photo 67

Timber stairs located off the laundry door on the north side of the house.



Photo 68

Timber deck located on the south side of the studio.



Photo 69

Timber deck, stairs and balustrade off the studio living room on the north side of the property. Recommend installing a handrail on the stairs.



Photo 70

Trellis privacy wall located off the studio on the north side.

Gates

Material - Timber.
Functional - Yes.
Hinges - Functional.
Latches - Functional.

Recommendations:

Recommend regular lubrication of the hinges and latch to maintain full function.



Photo 71

Timber trellis gate located on the northern deck privacy screen. Needs adjusting, bottom is scraping on the deck.

Drainage

Gully traps. These were checked with no visible issues at the time of inspection.

Recommendations:

Keep vegetation and soils clear of drainage.

Gully traps should be accessible for cleaning and maintenance.

A deck may be built over a gully trap, but at least 600 mm of clear access space above the trap must be provided. This is for access to the gully trap for drainage inspections and maintenance in the event of blockages.



Photo 72

Gully trap located on the south side of the studio.

Heating.Cooling.Ventilation

Fully ducted heatpump system.

Recommendations:

Service as per manufacturer's recommendations. Clean heatpump filters every 4 - 12 weeks depending on the placement of the unit.



Photo 73

Fujitsu central heating control panel located in the living room.



Photo 74

Central heating vents located throughout the house.



Photo 75

Heating system located in the hallway.



Photo 76

Outdoor heat pump unit located on the north side of the house.

Services

Services/systems tested - Yes - No

If there is no service/system then it is Not applicable.

Fire warning & control systems - No.

Heating systems - Powered on only.

Central vacuum systems - Not applicable.

Ventilation systems - Not applicable.

Security systems - No.

Security cameras - No.

Electricity services - Yes.

Gas services - Yes.

Gas bottle storage - Yes.

Water services - Yes.

Hot water services - Yes.

Foul water services - Yes.

Grey water recycling system - Not applicable.

Rainwater recycling system - Not applicable.

Solar heating - Not applicable.

Solar power/panels - Not applicable.

Aerials & antennae - No.

Shading systems - Not applicable.

Telecommunications - No.

Lifts - Disabled access - Not applicable.

Water pump - Yes.

Storm-water soak pits - Not applicable.

Distribution board - No.

Header tank - Not applicable.

Communications hub - Not applicable.

Automatic garage door opener - Yes.

Ceiling fan - Not applicable.

Electrical

Electrical sockets - All accessible sockets and light switches throughout the house were tested at the time of the inspection - All sockets and light switches tested were operational.

Distribution board location - Garage.

Earth stake - Location - Unable to be located.

Metre box - Location - On the West side of the dwelling.

Electrical connection - Underground supply.

Water heating

Type - Mains pressure electric cylinder.

Capacity - 180L.
Approximate age - Unknown.
Seismic bracing - Secure in place with shelving.
Area serviced - Entire house.
Any visible defects - None visible.

Water source - Rainwater.

Sewerage Disposal - On-site septic tank.

Recommendations:

The water tank has a significant lean. It may require re-levelling.

All services should be tested and maintained by certified professionals to the manufacturer's specifications.

It is recommended to install smoke detectors within 3 metres of any sleeping space and a minimum of one per level/story.

All new smoke alarms must:

- be photoelectric
- have a battery life of at least eight years, or be hard-wired
- installed according to the manufacturer's instructions
- meet international standards.

Clean water.

Keeping the water clean is critical as water can become unhealthy if it is contaminated. Bird or animal droppings or dead animals can cause microbial contamination. Chemical contamination can come from things such as pesticide or herbicide spray drift onto the roof or use of inappropriate materials to collect the water such as lead.

To ensure the water is clean enough for the chosen end use, it's important to consider:

- catchment area – it must be clear of tree branches that provide places for birds to perch or roost or for cats, possums or rodents to access the roof
- materials selection
- component specification – roof claddings must be suitable for potable water collection
- the need for regular maintenance.

Maintenance

Regular maintenance is important to keep the water clean.

Every 3–6 months, inspect the gutters, leaf guards and drainpipes and clean as necessary.

Disconnect the pipes to the water tank first if possible.

Every 12 months, you should:

- inspect and clean the roof – disconnect the pipes to the water tank first if possible
- prune away any overhanging branches
- check tank inlets, covers and filters and clean as required
- check the tank exterior and pipes for structural integrity, leaks and seepage

– any damage should be repaired or the components replaced

- check for evidence of access by animals, birds or insects, the presence of algal growth and accumulated sediment. Sediment in the tank should be removed as required. This can be done without emptying the tank by siphoning, pumping, through a scour valve (if the tank has one) or in some cases by using a swimming pool vacuum cleaner. Where sludge cannot easily be removed, the tank may need to be emptied and cleaned. This is best done by professional tank cleaners.

Filters occasionally need replacing – how often depends on water use. For treatment systems, follow the manufacturer’s instructions on maintenance.

Safety covers can be the barrier that restricts access to a small heated pool, such as a spa pool, where:

- the water surface area is 5m² or less
- the side walls of the pool are at least 760mm high above the adjacent floor
- the side walls cannot be easily climbed.

A safety cover must have signage indicating its child safety features, and must be able to:

- restrict entry of children under five years of age when closed
- withstand a foreseeable load
- be readily returned to the closed position.



Photo 77

Distribution board located in the garage.



Photo 78

Security alarm control panel located in the garage.



Photo 79

Manhole access located in the garage.



Photo 80

Security sensor located throughout the house.



Photo 81

Smoke alarm located in the hallway and lounge.



Photo 82

Spa Pool located on the northern deck.



Photo 83

Spa pool lid is not lockable.



Photo 84

Clothes line located on the north side of the house.



Photo 85

Septic tank breather is located on the north side of the property.



Photo 86

Plastic water tanks, located on the north side of the property. Water tank closest to the studio has a significant lean. May need re-levelling.



Photo 87

Water pump located between the two water tanks.



Photo 88

Satellite dish located on the northern retaining wall.



Photo 89

Metrebox located on the west side of the house.



Photo 90

Security alarm located on the west side of the house.



Photo 91

Security camera facing the driveway on the south west corner.



Photo 92

Gas bottles and regulator located on the south side of the studio.



Photo 93

Rinnai gas infinity located on the southwest side of the unit.



Photo 94

Brick fireplace located off the deck.



Photo 95

Gas bottle located on the south side of the house.



Photo 96

Example of electrical sockets tested throughout the dwelling.

Studio

Studio services.

Recommendations:

All services should be tested and maintained by certified professionals to the manufacturer's specifications.



Photo 97

Metro freestanding wood burner located in the living room.



Photo 98

Distribution board located in the living room.



Photo 99

Siemens heating control panel located in the living room.



Photo 100

Heat transfer vent located in the living room beside the wood burner.



Photo 101

Heat transfer vent located in the bedroom.

CONCLUSION

The data and statistical information presented in this report were gathered from reliable, commonly utilized industry sources for survey purposes. While we have made every effort to ensure the accuracy of the information, in many cases, we cannot directly verify the information at its source and therefore cannot guarantee its accuracy.

We recommend checking the records of the local territorial authority to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

The age of the buildings was taken into consideration when the inspection and reporting was carried out. The survey of the condition of the building elements and components was carried out on the basis of 'the expected condition of the materials' considering their use, location and age.

It is important to carry out regular maintenance on a dwelling to identify and rectify minor problems before they become major, and to maintain weathertightness.

Generally, the interior of the house appears in a tidy condition. No immediate repairs are required, and any necessary repairs can be carried out as part of normal maintenance. Minor scuffs, marks and small areas of damage are evident which are to be expected and can be attended to as part of normal maintenance.

It's important when carrying out maintenance or renovations to use licensed practitioners, where required. Hiring licensed builders, electricians, plumbers, gas fitters and drain layer helps make sure the work is done correctly, adheres to safety standards, and meets legal requirements. The use of unlicensed tradespersons may impact your insurance coverage and could ultimately result in higher costs if the work needs fixing later.

There are areas as noted within the report where maintenance is recommended.

Floor levels were checked using a self-levelling laser, all axis checked were within our building code of +/-10mm.

The dwelling is structurally sound and fit for purpose.