

COPY

Private Bag 9023 | Whangarei 0148 | New Zealand  
T: 09 430 4200 | 0800 WDC INFO | 0800 932 463 | F: 09 438 7632  
W: www.wdc.govt.nz | E: mailroom@wdc.govt.nz



## Building Consent No: BC1400754

Section 51, Building Act 2004

Issued: 30 October 2014

Project Assessment No: PA1400526

### The Building

Street address of building: 28 Erskine Road (Pvt)  
Whangarei 0110

Legal description of land where building is located: LOT 31 DP 209159  
LLP: 101996

Building name: N/A

Location of building within site/block number: N/A

Level/unit number: N/A

### The Owner

K J Cox  
T I Jones  
14 North Crest Drive  
Whangarei 0110

Phone number: N/A

Mobile number: 02102587413

Facsimile number: N/A

Email address: tim\_jones08@hotmail.com

Website: N/A

Street address/registered office: 28 Erskine Road (Pvt)  
Whangarei 0110

First point of contact for communications with Council/building consent authority

### Contact Person

T I Jones  
14 North Crest Drive  
Whangarei 0110

Phone number: N/A

Mobile number: 02102587413

Facsimile number: N/A

Email address: tim\_jones08@hotmail.com

Website: N/A

### Building Work

The following building work is authorised by this consent:

#### New Dwelling

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

**This building consent is subject to the following conditions:**

**Section 90 Building Act 2004**

Under section 90 of the Building Act 2004, agents authorised by Council (acting as a Building Consent Authority) are entitled, at all times during normal working hours or while building work is being done, to inspect:

- ii) land on which building work is being or is proposed to be carried out; and
  - iii) building work that has been or is being carried out on or off that building site; and
  - iii) any building.
1. See attached schedule of site requirements for inspections and documentation required.
  2. Engineer to confirm with PS 4 of ground supporting foundation infill exceeding 600mm prior to slab or foundation inspection.
  3. A copy of your Electrical Certificate will be required.

**Compliance Schedule**

A compliance schedule is not required for the building.

**Attachments**

No attachments.

**Additional Information**

1. The applicant must control dust nuisance created by any site or building works.
2. Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.
3. Lapsing of building consent. For the purposes of S52(b) of the Building Act 2004, the period after which this consent will lapse if the building work to which it relates does not commence will be 12 months from the date of issue.



---

Jennie Thomas  
Support Assistant – Building Processing  
On behalf of Whangarei District Council

---

30 October 2014  
Date



**PART B As-built services information (continued)**

**Wastewater – pressure (pump make/model)**

<b>Connection diameter</b>	<b>Pipe material</b>	<b>Connection type</b>
<input type="checkbox"/> 40mm	<input type="checkbox"/> uPVC	<input type="checkbox"/> Public utility service connection
<input type="checkbox"/> 50mm	<input type="checkbox"/> Vitrified clay	<input type="checkbox"/> Septic tank
<input type="checkbox"/> 80mm	<input type="checkbox"/> Concrete	<input type="checkbox"/> Other _____
<input type="checkbox"/> Other _____ mm	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____

**AS BUILT**  
 Received By Shane Hazarava  
 Date 29-11-17

**Wastewater - gravity**

<b>Connection diameter</b>	<b>Pipe material</b>	<b>Connection type</b>
<input type="checkbox"/> 65mm	<input type="checkbox"/> uPVC	<input type="checkbox"/> Public utility service connection
<input type="checkbox"/> 80mm	<input type="checkbox"/> Vitrified Clay	<input type="checkbox"/> Septic tank
<input type="checkbox"/> 100mm	<input type="checkbox"/> Concrete	<input type="checkbox"/> Other _____
<input type="checkbox"/> Other _____ mm	<input type="checkbox"/> Other _____	<input type="checkbox"/> Other _____

**Wastewater – disposal system description**

**Septic tank**

Size \_\_\_\_\_ litres

Type  Ecotank  
 Biocycle  
 Other Natural flow

**Effluent field**

Trench \_\_\_\_\_ m  
 Deep soak hole  
 Depth \_\_\_\_\_ m  
 No of holes \_\_\_\_\_ m  
 Other Siphon to irrigation line

**Sanitary facilities**

Toilet no \_\_\_\_\_  
 Bidet no \_\_\_\_\_  
 Urinal no \_\_\_\_\_

**Waste Disposal Unit**

No  
 Yes – type \_\_\_\_\_

I Shane Hazarava  
 Being the  Owner  Occupier

Certifying plumber Reg no \_\_\_\_\_  
 Certifying drainlayer Reg no 13325

Certify that this private utility service as-built record is an accurate representation of the work carried out

Shane Hazarava Signature 29/11/17 Date

**Private utility service as-built record**

(Section 216, Building Act 2004)

**PART A Consent details (to be completed in all cases)**

**AS BUILT**  
 Received By Shane Hazarava  
 Date 29-11-17

Building consent no BC#1400754  
 Applicant's name Tim & Kylie Jones  
 Mailing address 28 Erskine Road Maunu Estate P.O.T  
 Site address " " " " " "

**PART B As-built services information (to be completed in relation to service provided, ✓ each box as appropriate)**

**Stormwater**

<b>Pipe diameter</b>	<b>Pipe material</b>	<b>Connection type</b>
<input type="checkbox"/> 80mm	<input checked="" type="checkbox"/> uPVC	<input type="checkbox"/> Public utility service connection
<input checked="" type="checkbox"/> 100mm	<input type="checkbox"/> Vitrified clay	<input type="checkbox"/> Soak hole
<input type="checkbox"/> 150mm	<input type="checkbox"/> Ductile iron	<input type="checkbox"/> Stream
<input type="checkbox"/> 225mm	<input type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Drain
<input type="checkbox"/> Other _____ mm	<input type="checkbox"/> Other _____	<input checked="" type="checkbox"/> Other <u>TANK</u>

**Water supply**

**Pipe material - cold**

uPVC  
 Copper  
 Polybutylene  
 Other \_\_\_\_\_

**Hot water cylinder**

High pressure \_\_\_\_\_ Litre  
 Low pressure \_\_\_\_\_ Litre

**Meter type**

Make \_\_\_\_\_  
 Model \_\_\_\_\_  
 Diameter \_\_\_\_\_ mm  
 Serial no \_\_\_\_\_

Other \_\_\_\_\_ Reading 

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 m<sup>3</sup>  
 (Quote all black figures inclusive of zeros only)

**Note Part B As-built services information (continued on last page)**

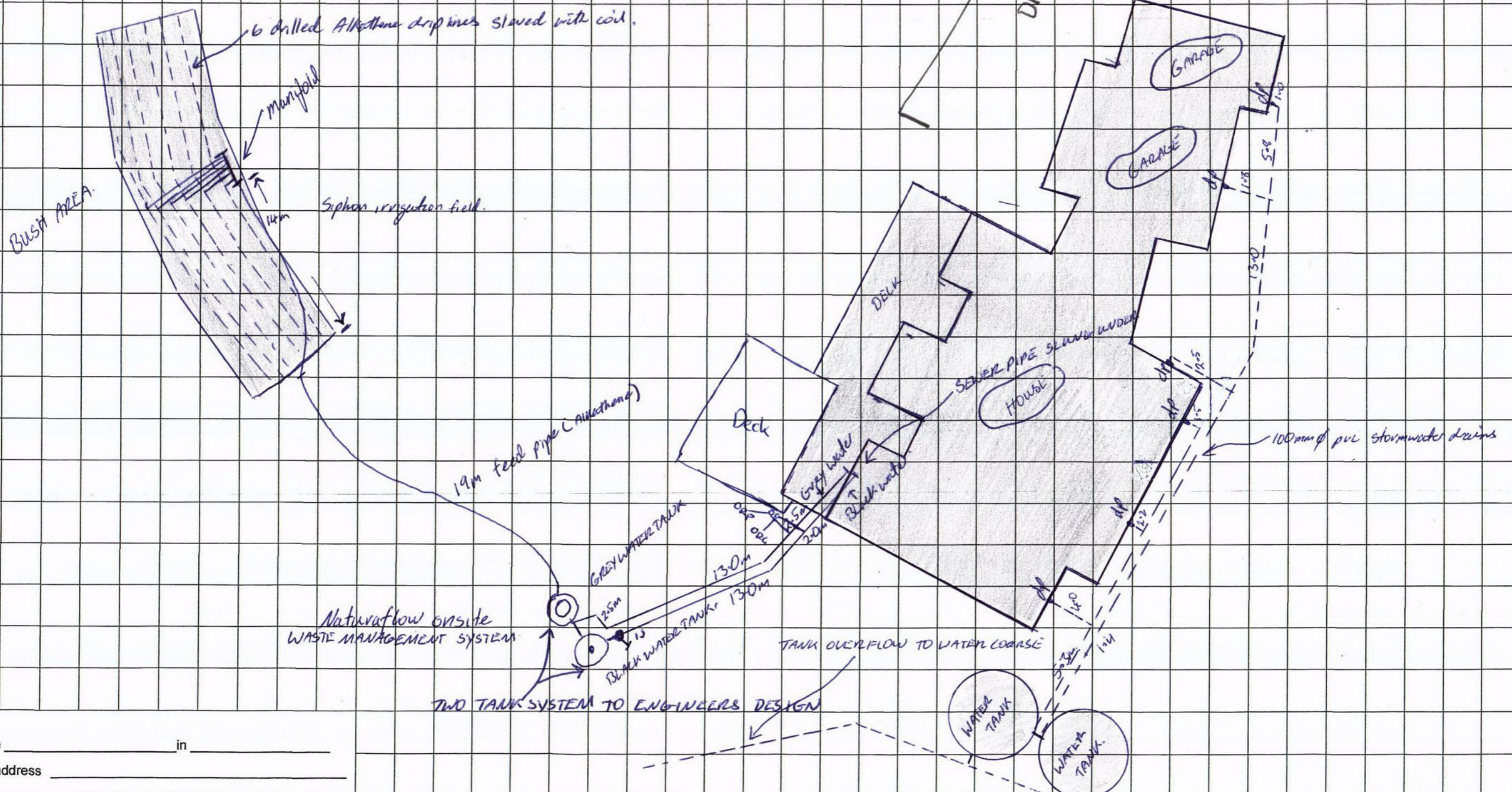




**PART C As-built services plan**

(to be completed in all cases. If details are already noted on separate drawings then provide copies in duplicate as appropriate and attach to this sheet. Ensure that drawing numbers, etc, is noted below)

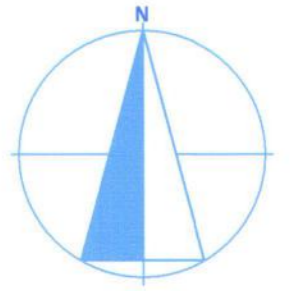
*NOTES*



Scale \_\_\_\_\_ in \_\_\_\_\_  
 Site address \_\_\_\_\_



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Lot 34  
DP 313514

Lot 32  
DP 209159

Lot 24  
DP 209159

Lot 35  
DP 313514  
2.1030

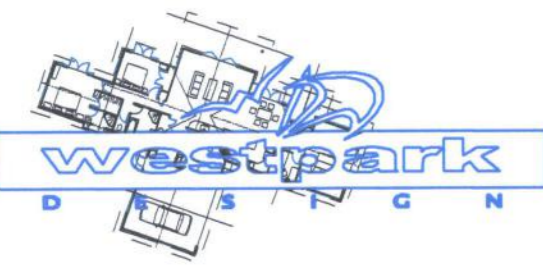
Lot 30  
DP 209159

Lot 31  
DP 209159  
1.7610

Lot 25  
DP 209159

Site Plan 1:300

APPROVED 2014  
BC NUMBER INAY 1000  
00754 2910  
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**WESTPARK DESIGN**  
165 Peach Orchard Rd, Whakapara  
P.O. Box 252, Whangarei  
Ph: 09 4388693  
Mobile: 0274 866 932  
Email: design@westpark.net.nz



**STUDIO MAROTTA**  
33 Norfolk Street  
P.O. Box 252, Whangarei  
Ph: 09 4388699  
Mobile: 021 156 9064  
Email: marotta@stnet.co.nz

Client:  
Tim Jones & Kylie Cox

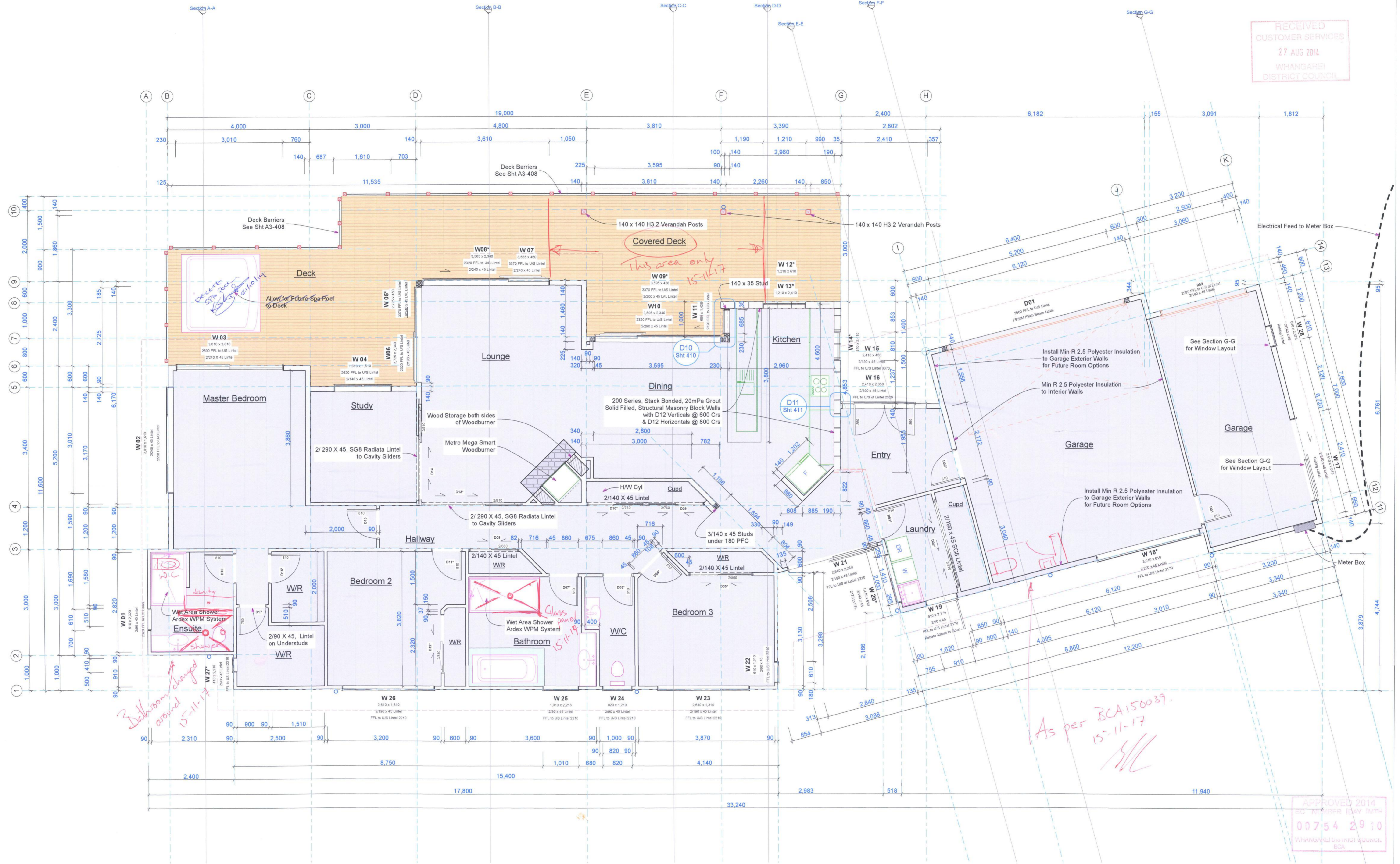
Drawing Title:  
Proposed Residence  
28 Erskine Rd, Maunu

Issue No:	Issue No:
Concept Issue 14.03.2014	Final Issue 15.07.2014
Concept Issue 21.03.2014	Final Issue 20.07.2014
Concept Issue 11.04.2014	Building Consent Issue 09.08.2014
Concept Issue 8.05.2014	
Concept Issue 8.05.2014	

Drawn: KG	Checked: KG	Scales: As Shown @ A1	Sheet: A1-101
Project No: 14-1482	CAD File: X Drive 2014 Jones, Cox Arch CAD		



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Ground Floor

1:50

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Email: design@westpark.net.nz



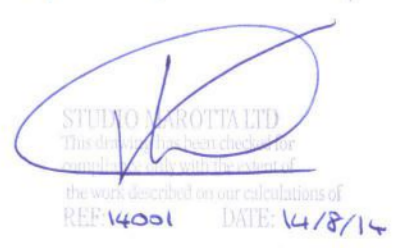
**STUDIO MAROTTA**  
33 Norfolk Street  
P.O. Box 252, Whangarei  
Ph: 09 4388699,  
Mobile: 021 156 9064  
Email: marotta@stfnet.co.nz

Client:  
Tim Jones & Kylie Cox

Drawing Title:  
Proposed Residence  
28 Erskine Rd, Maunu

Issue No: Concept Issue 14.03.2014	Issue No: Final Issue 16.07.2014
Concept Issue 21.03.2014	Final Issue 26.07.2014
Concept Issue 11.04.2014	Building Consent Issue 09.08.2014
Concept Issue 8.05.2014	Concept Issue 8.05.2014

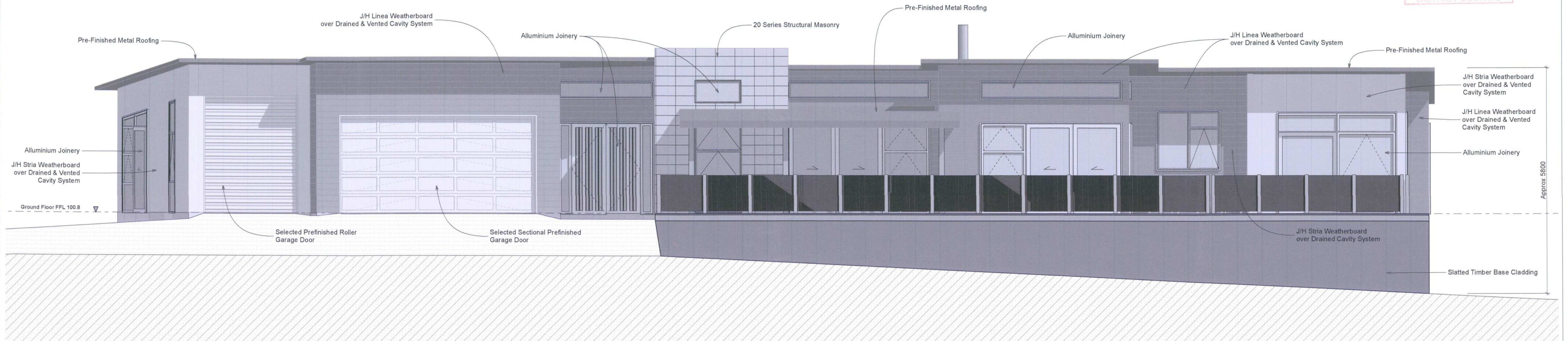
Drawn: KG  
Checked: KG  
Project No: 14-1462  
Scales: 1:50 @ A1  
1:100 @ A3  
A1-103  
CAD File:  
X Drive: 2014 Jones, Cox Archi CAD





Building Envelope Risk Matrix		
North West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind Zone (per NZS 3604)	Very High	2
Number of Storeys	Low	0
Roof/Wall Intersection Design	Very High	5
Eaves Width	High	2
Envelope Complexity	High	3
Deck Design	Medium	2
<b>Total Risk Score:</b>	<b>Risk Severity</b>	<b>14</b>

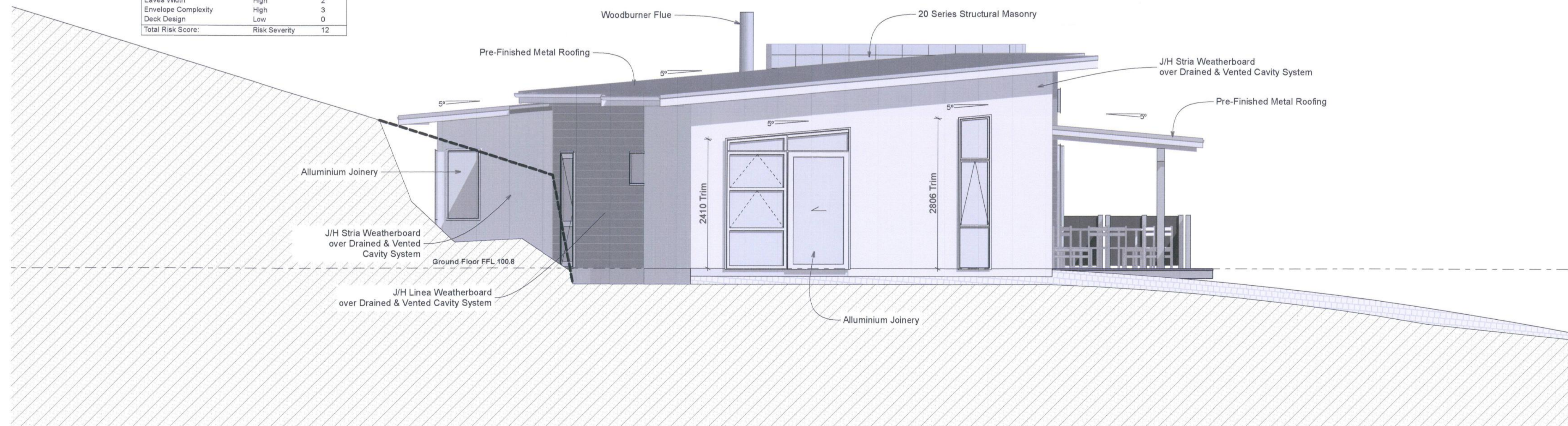
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North / West Elevation

1:50

Building Envelope Risk Matrix		
North East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind Zone (per NZS 3604)	Very High	2
Number of Storeys	Low	0
Roof/Wall Intersection Design	Very High	5
Eaves Width	High	2
Envelope Complexity	High	3
Deck Design	Low	0
<b>Total Risk Score:</b>	<b>Risk Severity</b>	<b>12</b>



North / East Elevation

1:50

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00754 29 10  
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**WESTPARK DESIGN**  
165 Peach Orchard Rd, Whakapara  
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Mobile: 0274 866 932  
Email: design@westpark.net.nz

**A D N Z**  
ARCHITECTURAL DESIGNERS NZ INC



**STUDIO MAROTTA**  
33 Norfolk Street  
P.O. Box 252, Whangarei  
Ph: 09 4388699  
Mobile: 021 156 9064  
Email: marotta@xhnet.co.nz

Client:  
Tim Jones & Kylie Cox

Drawing Title:  
Proposed Residence  
28 Erskine Rd, Maunu

Issue No:  
Concept Issue 14.03.2014  
Concept Issue 21.03.2014  
Concept Issue 11.04.2014  
Concept Issue 6.05.2014  
Concept Issue 8.05.2014

Issue No:  
Prelim Issue 18.07.2014  
Prelim Issue 29.07.2014  
Building Consent Issue 09.08.2014

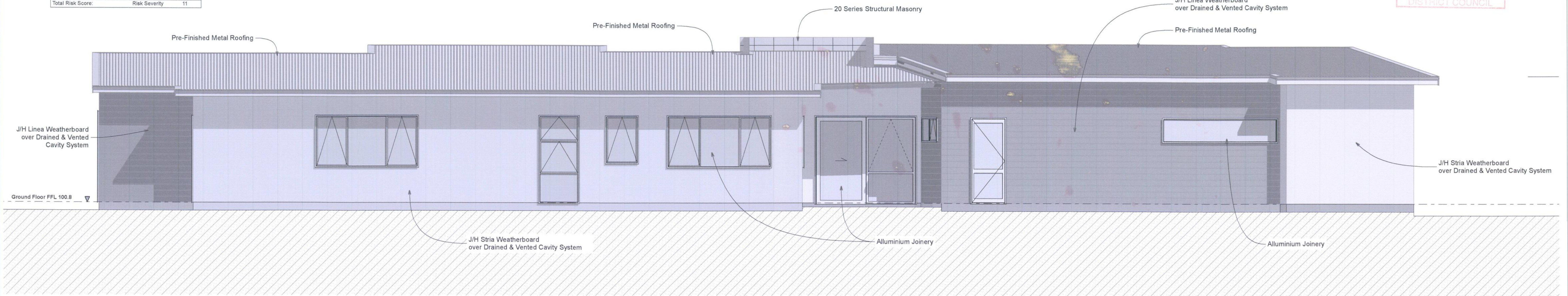
Drawn: KG  
Checked: KG  
Project No: 14-1462

Scales: 1:50 @ A1  
1:100 @ A3  
CAD File:  
X Drive 2014 - Jones, Cox Archi CAD  
Sheet:  
A1-301



Building Envelope Risk Matrix		
South East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind Zone (per NZS 3604)	Very High	2
Number of Storeys	Low	0
Roof/Wall Intersection Design	Very High	5
Eaves Width	Medium	1
Envelope Complexity	High	3
Deck Design	Low	0
<b>Total Risk Score:</b>	<b>Risk Severity</b>	<b>11</b>

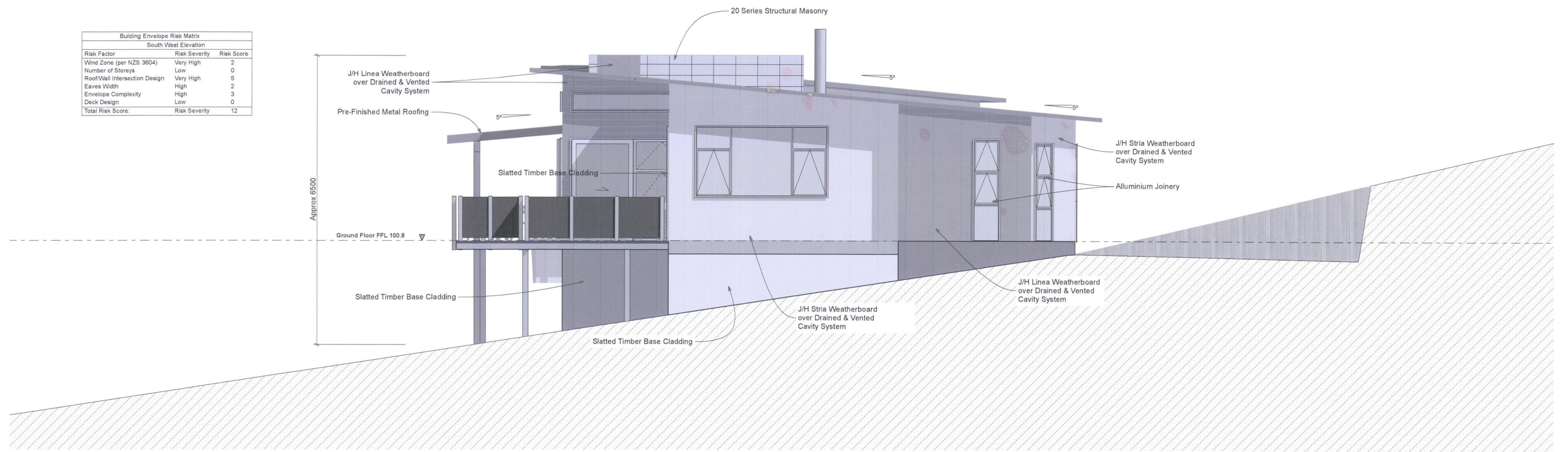
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South / East Elevation

1:50

Building Envelope Risk Matrix		
South West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind Zone (per NZS 3604)	Very High	2
Number of Storeys	Low	0
Roof/Wall Intersection Design	Very High	5
Eaves Width	High	2
Envelope Complexity	High	3
Deck Design	Low	0
<b>Total Risk Score:</b>	<b>Risk Severity</b>	<b>12</b>



South / West Elevation

1:50



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**STUDIO MAROTTA**  
33 Norfolk Street  
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Ph: 09 4388699  
Mobile: 021 156 9064  
Email: marotta@xfnet.co.nz

Client: Tim Jones & Kylie Cox

Drawing Title: Proposed Residence  
28 Erskine Rd, Maunu

Issue No:	Issue No:
Concept Issue 14/03/2014	Prelim Issue 18/07/2014
Concept Issue 21/03/2014	Prelim Issue 29/07/2014
Concept Issue 11/04/2014	Building Consent Issue 19/08/2014
Concept Issue 8/05/2014	
Concept Issue 8/05/2014	

Drawn: KG	Checked: KG	Project No: 14-1462
Scales: 1:50 @ A1	Sheet: A1-302	CAD File: X Drive: 2014-Jones, Cox Archi CAD

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W: www.wdc.govt.nz | E: mailroom@wdc.govt.nz



Building consent amendment application *Tim Jones.*  
*14 Northwest Drive. Whg. 0110.*  
Amended plans to be returned to *Phone 02102587413 (Tim) who will pick up Docs.*

Customer Check Office use

Checklist		<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
1	Was building consent applied for through Council only <i>(Note - staff check text notes for certifier)</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
2	Has building consent been issued <i>(if not, amendment can be added to original)</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3	Code Compliance Certificate yet to be issued	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
4	Amendment is similar to use <i>(If rooms being changed around within footprint e.g. bathrooms becomes laundry and vice versa then amendment is ok, but if garage becomes rumpus room or spare space is to become toilet/shower etc, this would not qualify for amendment)</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
5	Amendment contained within footprint of building and no change to height, daylight angles etc as per original submitted plans. <i>(If not the compliance manager or building officer is to decide). Duty planner may be required.</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
6	Original application less than 1 year old <i>(if older than 1 year compliance manager or building officer to decide)</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
7	Is value being added to building consent <i>(if so new building consent required)</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
* 8	Does the original project involve Restricted Building Works? Does amendment alter RBW elements? <i>(if so, application to include another Design Memorandum to cover amended works) See guidance note on reverse.</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

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Description

*AMEND CONCRETE / TIMBER FLOOR RATIO  
FOUNDATION LAYOUT & BEAMS  
ADD PORT BEAM TO BEDROOM SUBFLOOR  
ADDITIONAL W/C TO GARAGE*

AMENDMENT  
Checked By.....  
Building Officer.....  
Planning Officer *Amber 09/04/15*

Office use

Property ID	<i>105238</i>
LLP	<i>101996</i>
BC	<i>14 00754.</i>
Receipt no	<i>513669</i>
Date	<i>8/4/15</i>

BC 150039 Customer services representative name

Planning review required  
 Residential  Commercial

APPROVED 2015  
BC NUMBER DAY IMTH  
**00757 1504**  
WHANGAREI DISTRICT COUNCIL  
BCA

06/334882

February 2012

\* Architect & Engineer will email in their Memoranda.





## **BC Amendment Guidance Notes:**

### **Restricted Building Works:**

If the Building Consent proposed to be amended was applied for on or after 1 March 2012 and contains Restricted Building Works (RBW), any proposal to amend RBW elements must be accompanied by a Design Memorandum covering the amended elements. The memorandum should be completed to reflect the changes to the project – i.e. change to cladding, structural changes, window/ door changes, etc.



In reply please quote  
Or ask for

BCA150039  
Enka Boylan



Forum North, Private Bag 9023  
Whangarei 0148, New Zealand  
**Telephone:** +64 9 430 4200  
**Facsimile:** +64 9 438 7632  
**Email:** mailroom@wdc.govt.nz  
**Website:** www.wdc.govt.nz

15 April 2015

T I Jones  
14 North Crest Drive  
Whangarei 0110

COPY

Dear Sir/Madam

**Amendment to Building Consent:** BC1400754  
**Description of Work:** Alterations to Proposed New Dwelling - Foundation Layout,  
Flitch Beam, New Toilet and Garage  
**Site Address:** 28 Erskine Road (Pvt) Whangarei 0110

Your application for an amendment to the above building consent has been approved. Please find your approved amended plans enclosed.

Please place these in your onsite building pack.

Yours faithfully

A handwritten signature in blue ink, appearing to read "Enka Boylan".

Enka Boylan  
**Support Assistant – Building Processing**



Calculation Sheet

Project Number: 14001

Project Name: Jones House

Date: 19/03/15

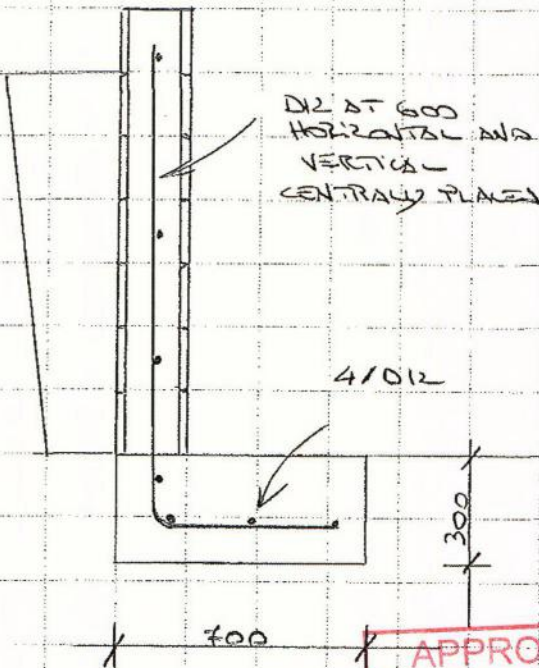
Sheet: 13



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# PROPOSED AMENDED PLAN

Block FOUNDATION WALL



FOR 1.5 G

$$M^* = 1.5 \times 18 \times 2.5 \times 1/6 = 2.5 \text{ kNm}$$

→ 2027.5 N D12 AT 600

$$A = 1131/6 = 188 \text{ mm}^2$$

$$f_y = 300 \text{ MPa} \quad d = 190/2 = 95$$

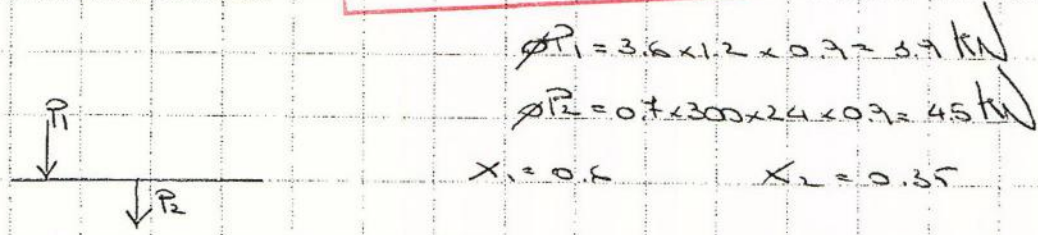
$$\rho = 188 \times 300 \times 2.85 / 12 \times 1000 = 5.5$$

$$\phi M_u = 2.85 \times 188 \times 300 (95 - 2.75) = 4.4 \text{ kNm}$$

APPROVED 2015  
BC NUMBER (DAY IMTH)  
**00757 1504**  
WHANGAREI DISTRICT COUNCIL  
BCA

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09 APR 2015  
WHANGAREI DISTRICT COUNCIL  
BUILDING CONTROL

FOUNDATION



$$\rho = \frac{3.7 \times 0.6 + 4.5 \times 0.35 - 2.3}{3.7 + 4.5} = \frac{1.6}{8.4} = 0.19$$

BC 150039

$$F = \frac{8.4}{2.17} \times 2 / 3 / 0.19 = 30 \text{ kN}$$

AMENDMENT  
Checked By.....  
Building Officer.....  
Planning Officer... *R. Deane* 09/04/15



Calculation Sheet

Project Number: 14001

Project Name: Jones House

Date: 20/03/15

Sheet: 14



NEW BEARER UNDER MASTER BEDROOM

3.7 m SPAN

$$G = 0.4 \times 2 = 0.8 \text{ kN/m}$$

$$Q = 1.5 \times 2 = 3 \text{ kN/m}$$

FOR 1.2 G AND 1.5 Q

$$U.L. = 1.2 \times 0.8 + 1.5 \times 3 = 5.5 \text{ kN/m}$$

$$M^* = 5.5 \times 3.7^2 / 8 = 10.4 \text{ kNm}$$

⇒ FB30M

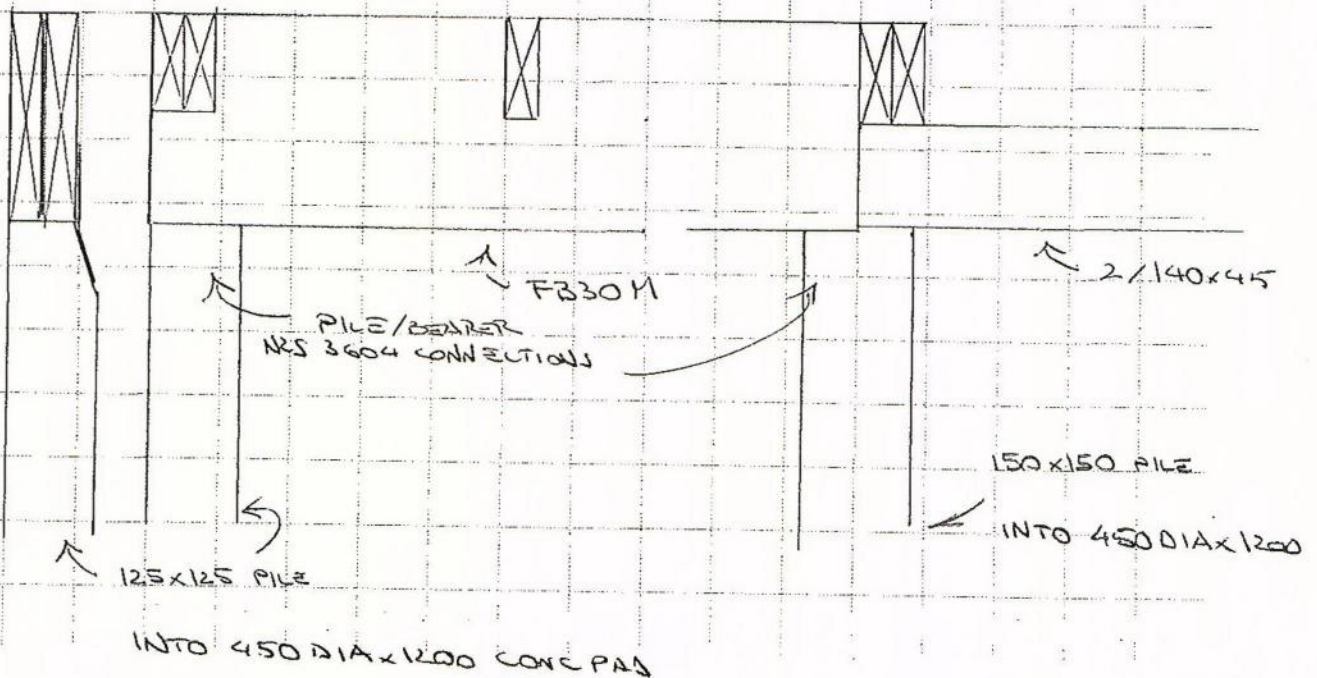
$$\phi M_{dx} = \phi M_{bx} = 285^2 \times 8 / 6 \times 1.5 \times 0.25 \times 0.9 = 36.5 \text{ kNm}$$

FOR G AND Q<sub>s</sub>

$$U.L. = 0.8 + 0.7 \times 3 = 2.9 \text{ kN/m}$$

$$D = 2.9 \times 3.7^4 \times 0.013 / 200 / 15.4 = 3.1 \text{ O.K.}$$

CONNECTIONS





Calculation Sheet

Project Number: 14001

Project Name: Jones House

Date: 20/03/15

Sheet: 15



FOUNDATION PADS

FOR 1.2 G AND 1.5 Q

$$N^* = 5.5 \times 3.5 = 19.3 \text{ tN}$$

→ 450 ⇒ 400 DIA × 1200 DEEP

ASSUME 5 tN SKIN FRICTION BELOW 0.4 m

$$F_s = 5 \times 0.4 \times \pi \times 0.6 = 3.8 \text{ tN}$$

$$Q_{\text{BASE}} = (19.3 - 3.8) / (0.4^2 \times \pi / 4) = 123 \text{ tN}$$

⇒ 450 DIA × 1200 DEEP O.K.

N.P.



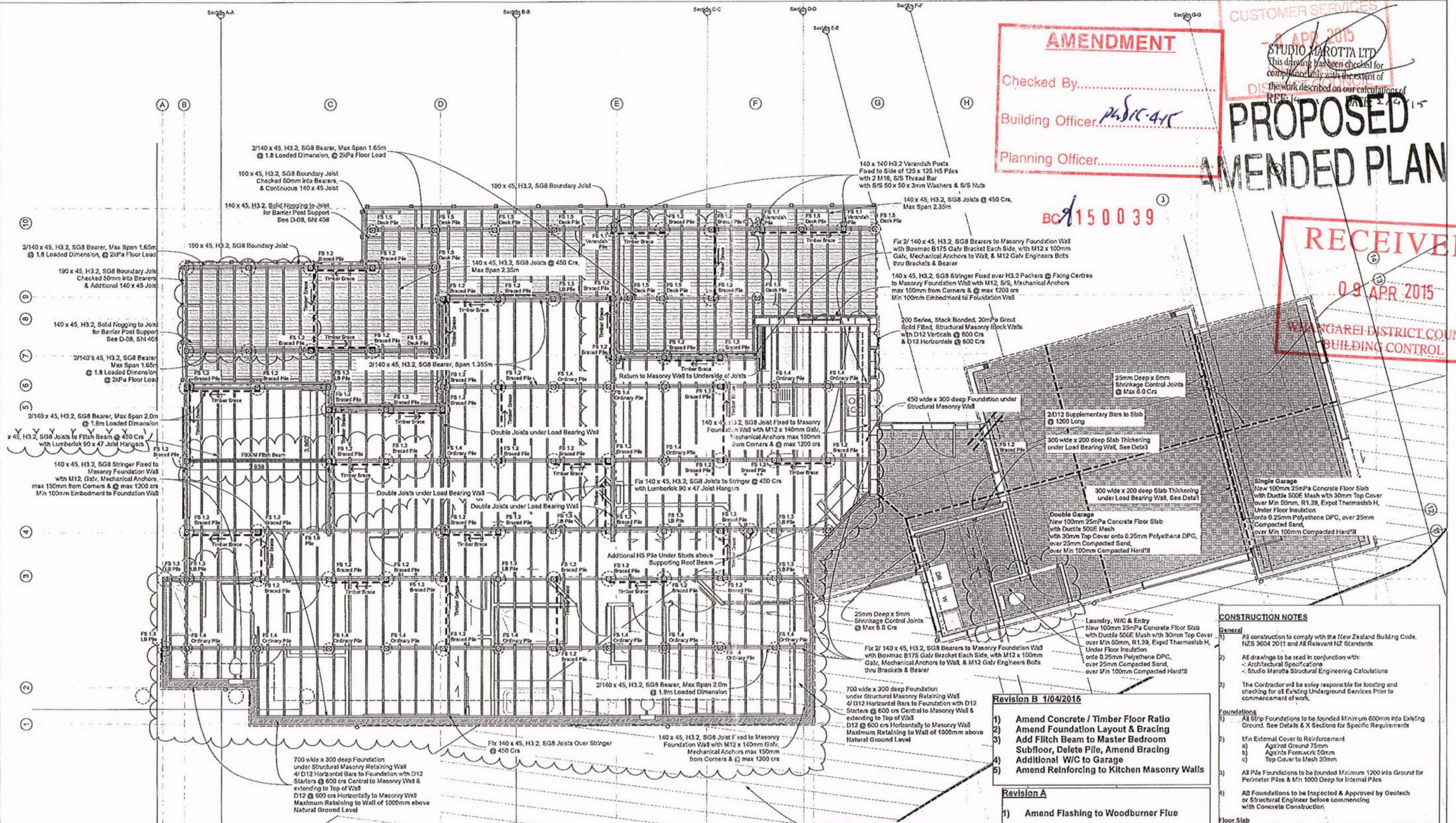
**AMENDMENT**  
 Checked By.....  
 Building Officer.....  
 Planning Officer.....

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 4 APR 2015  
 STUDIO MAROTTA LTD  
 This drawing has been checked for compliance with the extent of the work described on our calculations of RBE 14/15/15

**PROPOSED AMENDED PLAN**

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 BUILDING CONTROL

BC 150039



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 BC NUMBER IDAY IMTH  
 00757 1504  
 WHANGAREI DISTRICT COUNCIL  
 BCA

Foundation Layout 1:60

**WESTPARK DESIGN**  
 165 Pea's Orchard Rd, Whangarei  
 P.O. Box 252, Whangarei  
 Ph: 09 4388593  
 Mobile: 0274 866 932  
 Email: design@westpark.net.nz

**A D I N Z**  
 ARCHITECTURAL DESIGNERS NZ INC



**SM**  
 STUDIO MAROTTA  
 CONSULTANT ENGINEERS

**STUDIO MAROTTA**  
 33 Norfolk Street  
 P.O. Box 252, Whangarei  
 Ph: 09 4388699  
 Mobile: 021 156 9064  
 Email: smrotta@xnet.co.nz

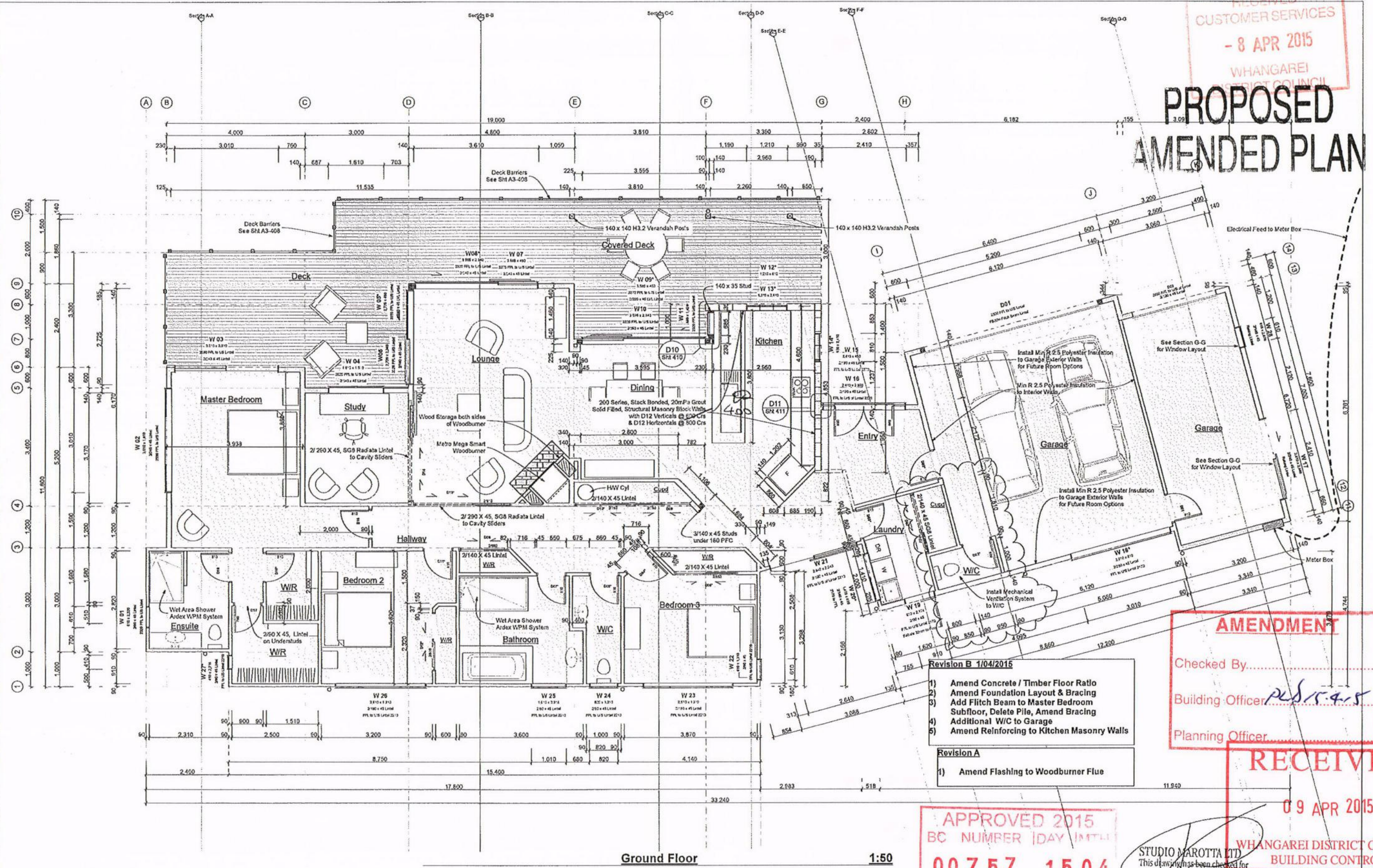
Client: Tim Jones & Kylie Cox  
 Drawing Title: Proposed Residence  
 28 Erskine Rd, Maunu

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Drawn:	11/01/2015	Drawn:	KG
Scale:	1:50 @ A1	Scale:	A1-15A1
Project No:	14112	Project No:	X Drive 2/14 Erskine, Cor Ash Cor



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# PROPOSED AMENDED PLAN



**AMENDMENT**  
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Building Officer *PLS 15.4.5*  
Planning Officer.....

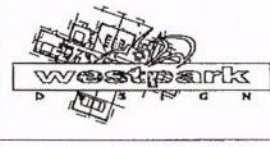
- Revision B 1/04/2015**
- 1) Amend Concrete / Timber Floor Ratio
  - 2) Amend Foundation Layout & Bracing
  - 3) Add Fitch Beam to Master Bedroom Subfloor, Delete Pile, Amend Bracing
  - 4) Additional W/C to Garage
  - 5) Amend Reinforcing to Kitchen Masonry Walls
- Revision A**
- 1) Amend Flashing to Woodburner Flue

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PCA

STUDIO MAROTTA LTD  
This drawing has been checked for compliance only with the extent of the work described on our calculations of REF: 14001 DATE: 2/4/15 BC 150039

Ground Floor 1:50



**WESTPARK DESIGN**  
165 Peach Orchard Rd, Whangarei  
P.O. Box 252, Whangarei  
Ph: 09 4388693  
Mobile: 0274 866 932  
Email: design@westpark.net.nz

**A D I N Z**  
ARCHITECTURAL DESIGNERS NZ INC



**STUDIO MAROTTA**  
CONSULTANTS & ENGINEERS  
33 Norfolk Street  
P.O. Box 252, Whangarei  
Ph: 09 4389699  
Mobile: 021 156 9064  
Email: marotts@xnet.co.nz

Client: Tim Jones & Kylie Cox	Drawing Title: Proposed Residence 28 Erskine Rd, Maunu	Issue No: 1	Issue Date: 15/04/2015	Drawn: JG	Scale: 150 @ A1	Sheet: A1-03
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		Contract Issue: 2	Contract Issue Date: 15/04/2015	Project No: 14-102	X Drive: JG, JG, JG, JG, JG, JG	
		Contract Issue: 3	Contract Issue Date: 15/04/2015			



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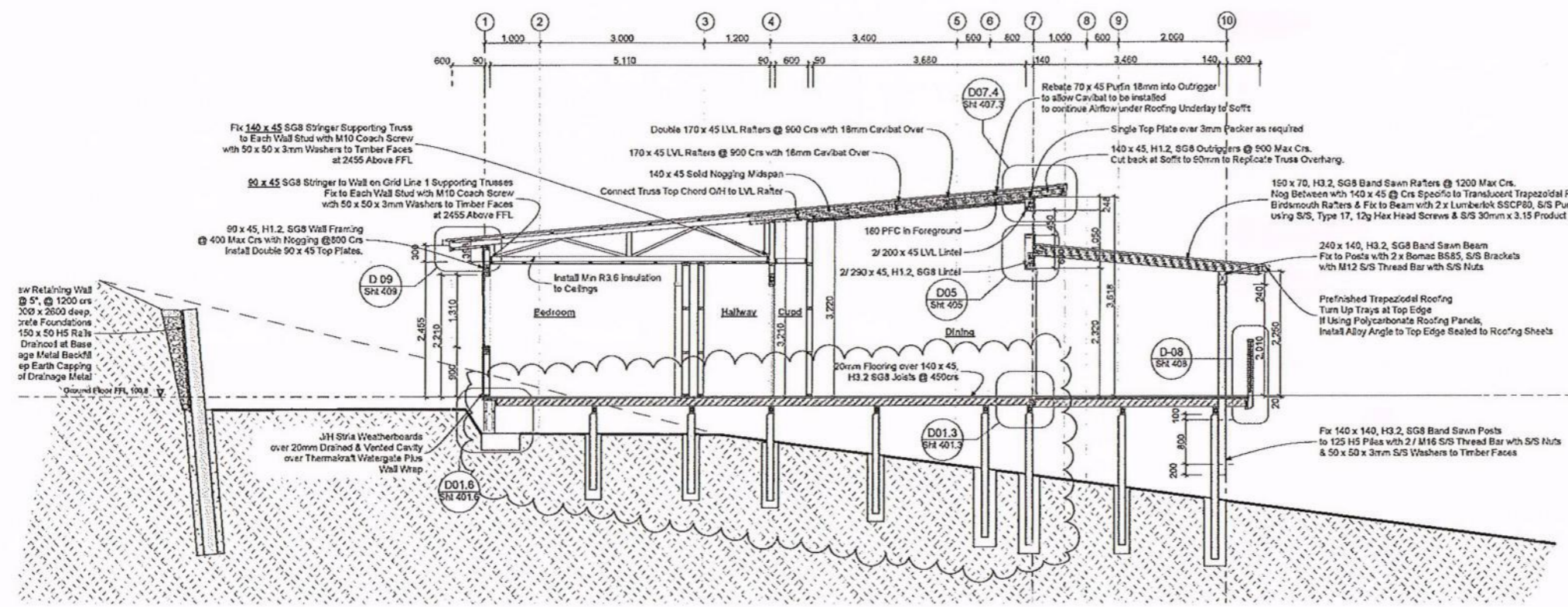
BC 150039

AMENDMENT

Checked By: *Ph.D.S. 4.15*  
Building Officer: \_\_\_\_\_  
Planning Officer: \_\_\_\_\_

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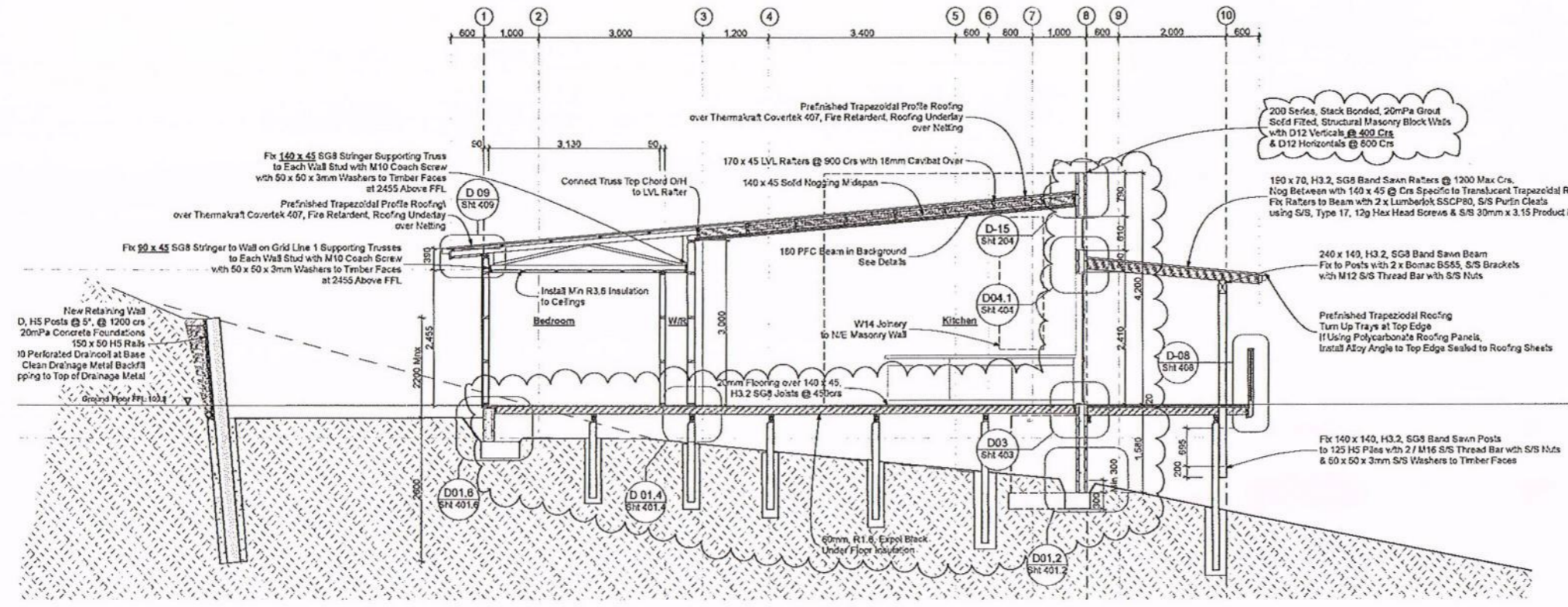
APPROVED 2015  
BC NUMBER IDAY IMTH  
00757 - 1504  
WHANGAREI DISTRICT COUNCIL  
BCA



Section C-C 1:50

**CONSTRUCTION NOTES**

- General**
- All construction to comply with the New Zealand Building Code, NZS 3604 2011 and All Relevant NZ Standards.
  - The Contractor & Precursor where applicable, shall check all dimensions prior to commencement of work and shall report any discrepancies to Westpark Design on Pk: 09 438 8693 immediately should there be any discrepancies.
  - DO NOT SCALE from drawings. Work from dimensions shown on drawings. If in doubt, Please ask.
  - All drawings to be read in conjunction with:
    - Architectural Specifications
    - Studio Marotta Structural Engineering Calculations
  - The Contractor will be solely responsible for locating and checking for all Existing Underground Services Prior to commencement of work.
- Top Plate to Stud Fixing**
- 0.91 X 25mm x 400 Long Lumberlock Sheet Brace Straps fixing each Stud to Top Plates. Install 6 / 30 x 3.15mm Lumberlock Product Nails to Stud & Top Plate
- Lintel Fixings**
- See Sht A3-501 for Lintel Fixing Details
  - Connect Lintels to Jack Studs with Lumberlock Type B Fixing or Equivalent
- Cavity Construction**
- Where Stud Spacing is Greater than 450mm, Install additional 45 x 20mm Timber Battens between CLD Battens to restrain the Insulation & Bulking Wrap from Bulging into the Drained Cavity (300mm Maximum Centers to All Battens)
- Wall Linings**
- External Walls to Garages Must Have Interior Linings Installed to Comply with AS E2/AS1
- Flexible Wall Underlays Shall:**
- Be Run Horizontally
  - Have Upper Sheets Lapped over Lower Sheets Minimum 75mm
  - Be Lapped Not Less than 150mm over Studs @ Vertical Joints
  - Extend 35mm Below Bottom Plate or Bearer
- Product Details**
- Main Contractor is responsible for ensuring all Specified Products are Installed strictly in accordance with the Manufacturer Installation Details & Relevant Information.



Section D-D 1:50

**Revision B 1/04/2016**

- Amend Concrete / Timber Floor Ratio
- Amend Foundation Layout & Bracing
- Add Fitch Beam to Master Bedroom Subfloor, Delete Pile, Amend Bracing
- Additional W/C to Garage
- Amend Reinforcing to Kitchen Masonry Walls

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This drawing has been checked for compliance with the extent of the work described on our calculations of REF: 14024 DATE: 2/4/15



WESTPARK DESIGN  
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Mobile: 021 156 9064  
Email: smarotta@xnet.co.nz

Client: Tim Jones & Kylie Cox  
Drawing Title: Proposed Residence  
28 Erskine Rd, Maunu

Issue No:	1	Issue No:	1	Drawn:	IG	Scale:	1:50 @ A1	Sheet:	A1-20
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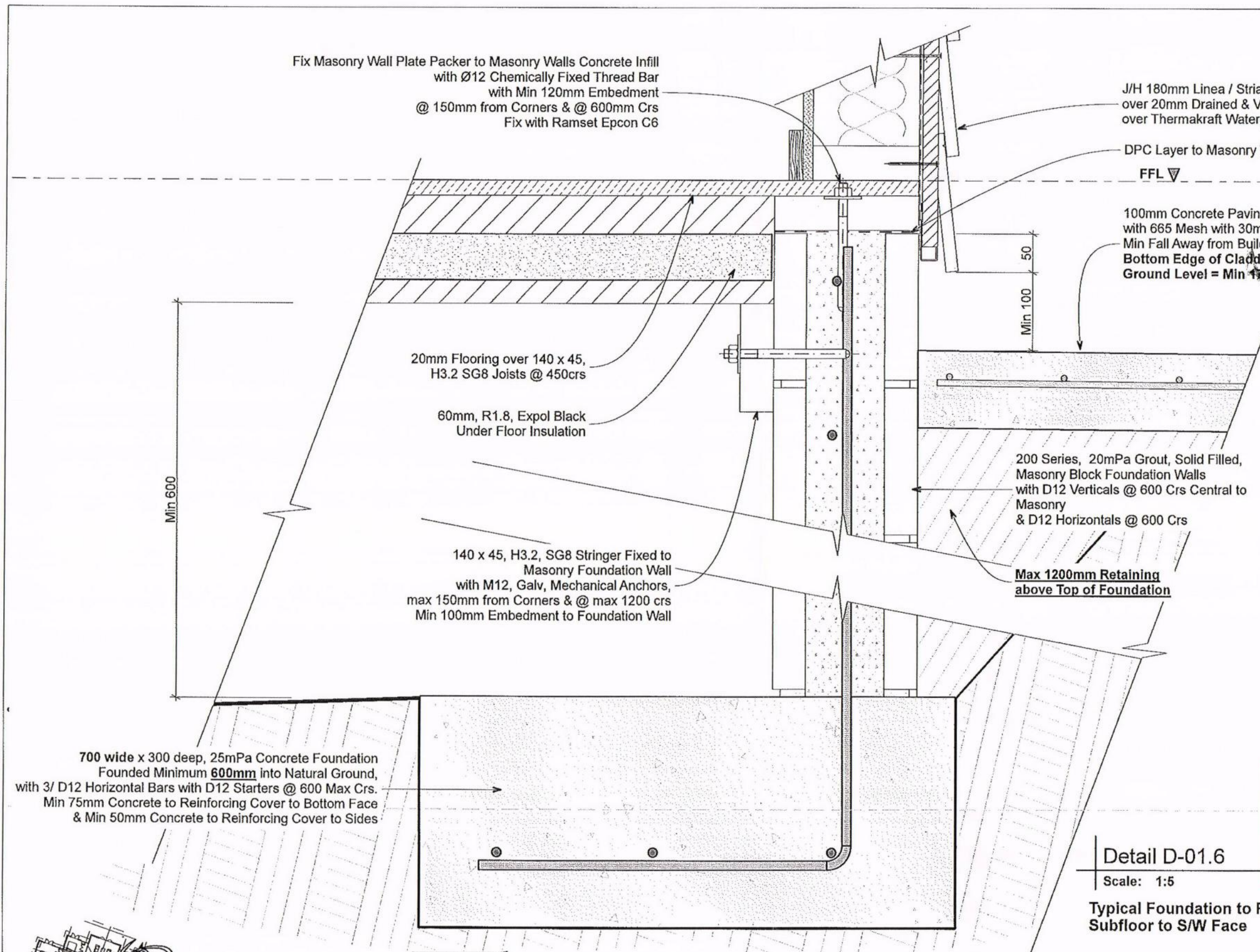
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AMENDED PLAN**

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BUILDING CONTROL

AMENDMENT  
Checked By.....  
Building Officer.....  
Planning Officer.....

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This drawing has been checked for compliance only with the extent of the work described on our calculations of REF: 14-001 DATE: 27/04/15  
APPROVED 2015  
BC NUMBER | DAY | MTH  
**00757 1504**  
WHANGAREI DISTRICT COUNCIL  
BCA



Fix Masonry Wall Plate Packer to Masonry Walls Concrete Infill with Ø12 Chemically Fixed Thread Bar with Min 120mm Embedment @ 150mm from Corners & @ 600mm Crs Fix with Ramset Epcon C6

J/H 180mm Linea / Stria Weatherboards over 20mm Drained & Vented Cavity over Thermakraft Watertight Plus Wall Wrap

DPC Layer to Masonry Wall Plate

FFL ▽

100mm Concrete Paving with 665 Mesh with 30mm Top Cover  
Min Fall Away from Building 15mm/M  
Bottom Edge of Cladding to Finished Unpaved Ground Level = Min 175mm

20mm Flooring over 140 x 45, H3.2 SG8 Joists @ 450crs

60mm, R1.8, Expol Black Under Floor Insulation

140 x 45, H3.2, SG8 Stringer Fixed to Masonry Foundation Wall with M12, Galv, Mechanical Anchors, max 150mm from Corners & @ max 1200 crs Min 100mm Embedment to Foundation Wall

200 Series, 20mPa Grout, Solid Filled, Masonry Block Foundation Walls with D12 Verticals @ 600 Crs Central to Masonry & D12 Horizontals @ 600 Crs

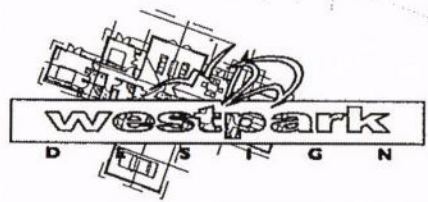
Max 1200mm Retaining above Top of Foundation

700 wide x 300 deep, 25mPa Concrete Foundation Founded Minimum 600mm into Natural Ground, with 3/ D12 Horizontal Bars with D12 Starters @ 600 Max Crs. Min 75mm Concrete to Reinforcing Cover to Bottom Face & Min 50mm Concrete to Reinforcing Cover to Sides

Detail D-01.6

Scale: 1:5

Typical Foundation to Retain Against Timber Subfloor to S/W Face



33 Norfolk Street, Whangarei  
P.O. Box 252, Whangarei  
Ph: 09 4388693, Mobile: 0274 866 932  
Email: design@westpark.net.nz



Client: Tim Jones & Kylie Cox

Drawing Title: Proposed Residence  
28 Erskine Rd, Maunu

Issue No :	Issue No :
Prelim Issue 14/ 07/ 2014	BC Issue Rev 03 /10 /2014
Prelim Issue 29/ 07/ 2014	BC Issue Rev B 01/04/2015
Consent Issue 09 /08 /2014	

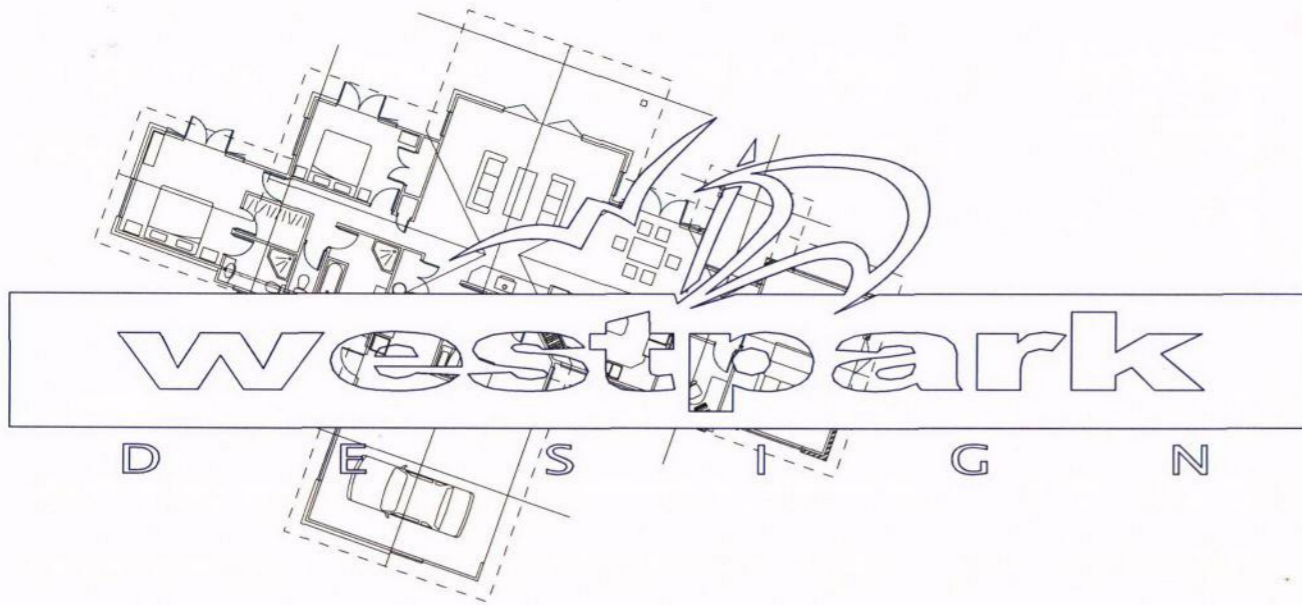
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Checked: KG  
Project No: 14-1462

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Sheet: A3-401.6  
CAD File: X Drive: 2014: Jones, Cox: Archi CAD



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**Tim Jones & Kylie Cox**  
28 Erskine Road  
Maunu

**CONTENTS**

Sheet A1-101	Site Plan		
Sheet A1-103	Floor Plan	Rev A 03/10/2014	Amendment B 1/04/2015
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Sheet A1-104.2	Waste & Stormwater Layout	Rev A 03/10/2014	Amendment B 1/04/2015
Sheet A1-105	Roof Framing Plan		
Sheet A1-106	Roof Plan		
Sheet A1-108	Wall & Roof Plane Bracing, Lintel Fixing		
Sheet A1-201	Sections A-A, B-B		
Sheet A1-202	Sections C-C, D-D		Amendment B 1/04/2015
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Sheet A1-301	Elevations		
Sheet A1-302	Elevations		

**Proposed Residence**

Westpark File No 14-1462

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Planning Officer..... *Am. Fee. 09/04/15*  
BC 150039

**Design Drawings**

Concept Issue No :	Preliminary Issue No :	Building Consent Issue No :
Concept Issue 14 /03 /2014	Prelim Working Drawings 18 /07 /2014	Building Consent Drawings 09 /08 /2014
Concept Issue 21 /03 /2014	Prelim Working Drawings 29 /07 /2014	Building Consent Revision 03 /10 /2014
Concept Issue 11 /04 /2014		BC Amendment A 01 /04 /2015
Concept Issue 06 /05 /2014		
Concept Issue 08 /05 /2014		

**STUDIO MAROTTA**  
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P.O. Box 252, Whangarei  
Ph: 09 4388699,  
Mobile: 021 156 9064  
Email: marotta@xfnet.co.nz



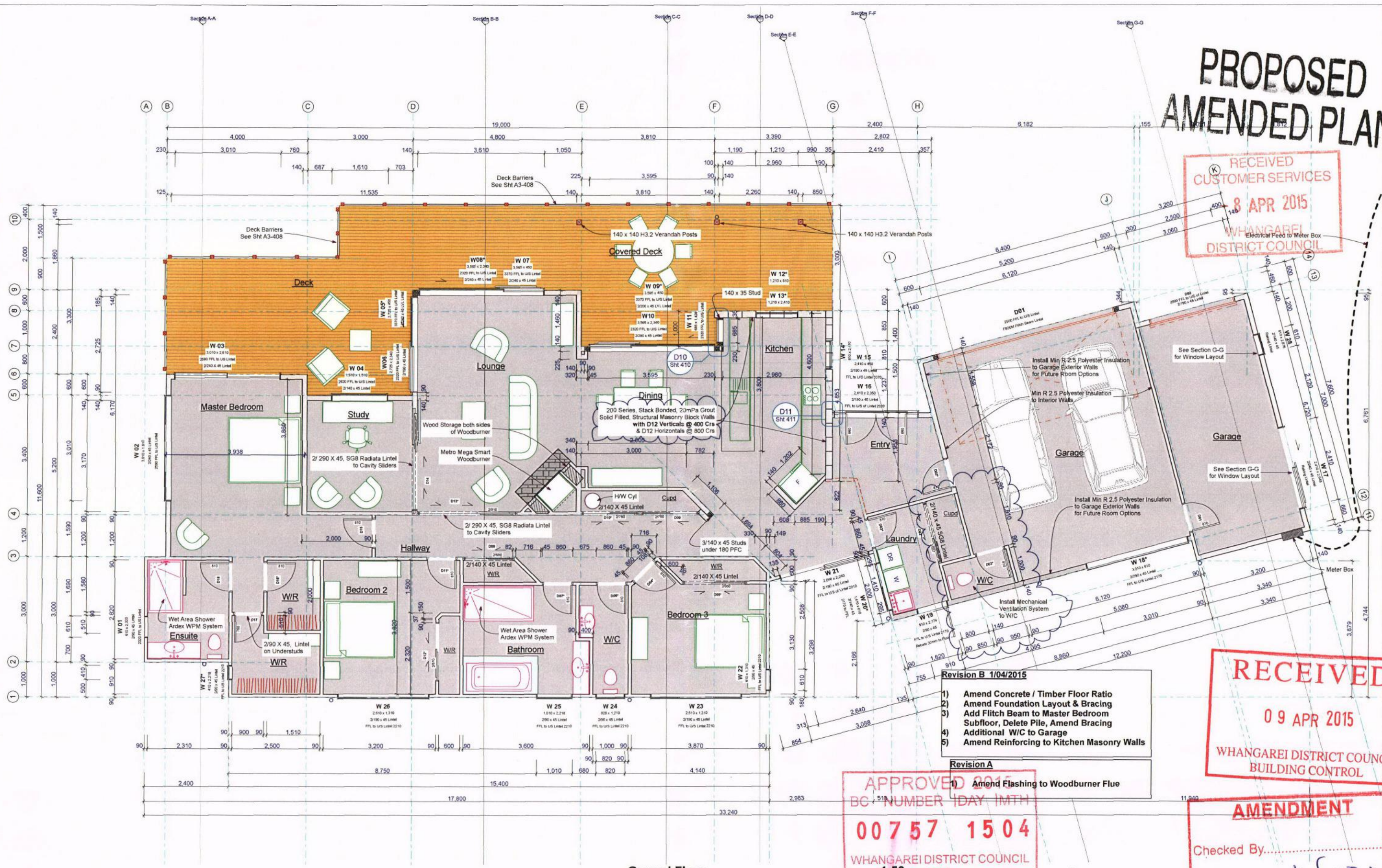
Licensed Design & Building Practitioners

**WESTPARK DESIGN**  
165 Peach Orchard Rd  
Whakapara  
P.O. Box 252, Whangarei  
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Mobile: 0274 866 932  
Email: design@westpark.net.nz



# PROPOSED AMENDED PLAN

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- Revision B 1/04/2015**
- 1) Amend Concrete / Timber Floor Ratio
  - 2) Amend Foundation Layout & Bracing
  - 3) Add Fitch Beam to Master Bedroom Subfloor, Delete Pile, Amend Bracing
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  - 5) Amend Reinforcing to Kitchen Masonry Walls

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Ground Floor



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33 Norfolk Street  
P.O. Box 252, Whangarei  
Ph: 09 4388699  
Mobile: 021 156 9064  
Email: marotta@xnet.co.nz

Client: Tim Jones & Kylie Cox

Drawing Title: Proposed Residence  
28 Erskine Rd, Maunu

Issue No:	14/03/2014	Issue No:	16/07/2014
Concept Issue:	14/03/2014	Problem Issue:	26/07/2014
Concept Issue:	21/03/2014	Final Issue:	26/07/2014
Concept Issue:	17/04/2014	Final Issue:	26/07/2014
Concept Issue:	1/05/2014	BC Issue:	11/04/2015
Concept Issue:	8/05/2014	BC Issue Revision B:	01/04/2015

Drawn: KG  
Checked: KG  
Project No: 14-1402  
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Sheet: A1-103  
CAD File: A Drive 2014 Jones, Cox Arch CAD



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ARCHITECTURAL DESIGNERS NZ

# PROPOSED AMENDED PLAN

Fix Masonry Wall Plate Packer to Masonry Walls Concrete Infill with  $\varnothing 12$  Chemically Fixed Thread Bar with Min 120mm Embedment @ 150mm from Corners & @ 600mm Crs Fix with Ramset Epcon C6

J/H 180mm Linea / Stria Weatherboards over 20mm Drained & Vented Cavity over Thermakraft Watergate Plus Wall Wrap

DPC Layer to Masonry Wall Plate  
FFL  $\nabla$

100mm Concrete Paving with 665 Mesh with 30mm Top Cover  
Min Fall Away from Building 15mm/Mtr  
Bottom Edge of Cladding to Finished Unpaved Ground Level = Min 175mm

20mm Flooring over 140 x 45, H3.2 SG8 Joists @ 450crs

60mm, R1.8, Expol Black Under Floor Insulation

140 x 45, H3.2, SG8 Stringer Fixed to Masonry Foundation Wall with M12, Galv, Mechanical Anchors, max 150mm from Corners & @ max 1200 crs Min 100mm Embedment to Foundation Wall

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**Max 1200mm Retaining above Top of Foundation**

Min 600

700 wide x 300 deep, 25mPa Concrete Foundation Founded Minimum 600mm into Natural Ground, with 3/ D12 Horizontal Bars with D12 Starters @ 600 Max Crs. Min 75mm Concrete to Reinforcing Cover to Bottom Face & Min 50mm Concrete to Reinforcing Cover to Sides

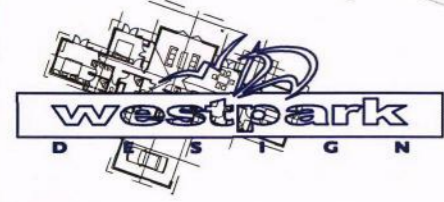
**AMENDMENT**  
Checked By.....  
Building Officer: *P. D. S. - G. S.*  
Planning Officer.....  
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Detail D-01.6  
Scale: 1:5

Typical Foundation to Retain Against Timber Subfloor to S/W Face



33 Norfolk Street, Whangarei  
P.O. Box 252, Whangarei  
Ph: 09 4388693, Mobile: 0274 866 932  
Email: design@westpark.net.nz



Client:  
**Tim Jones & Kylie Cox**

Drawing Title:  
**Proposed Residence  
28 Erskine Rd, Maunu**

Issue No :	Issue No :
Prelim Issue 14/ 07/ 2014	BC Issue Rev 03 /10 /2014
Prelim Issue 29/ 07/ 2014	BC Issue Rev B 01/04/2015
Consent Issue 09 /08 /2014	

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Checked: KG  
Project No:  
14-1462

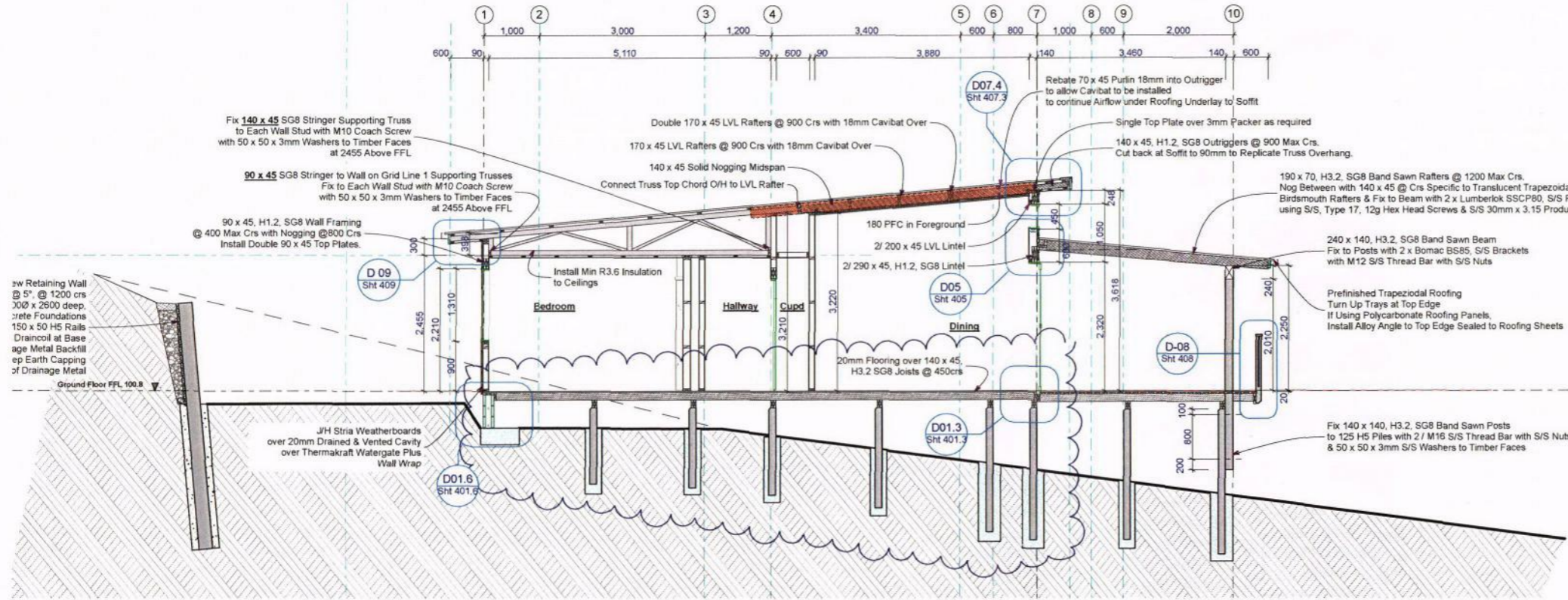
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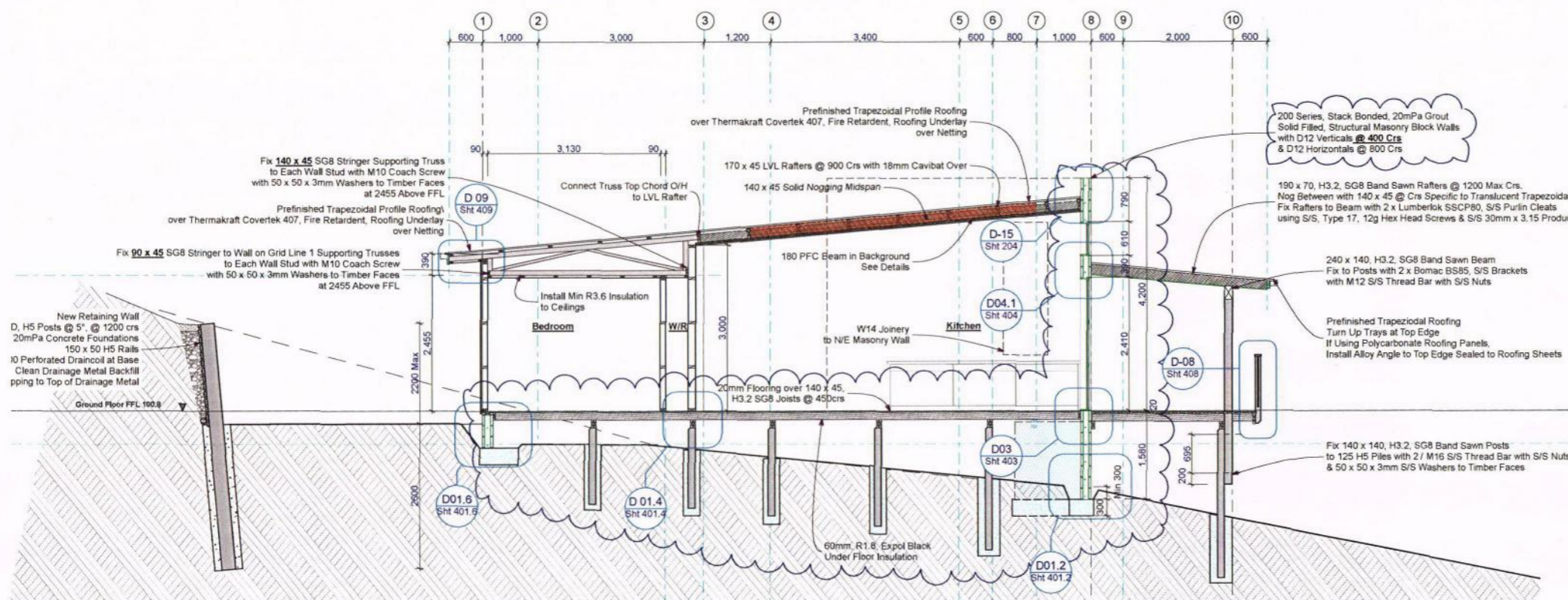
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# PROPOSED AMENDED PLAN



Section C-C 1:50



Section D-D 1:50

- CONSTRUCTION NOTES**
- General**
- All construction to comply with the New Zealand Building Code, NZS 3604 2011 and All Relevant NZ Standards
  - The Contractor & Precutter where applicable, shall check all dimensions prior to commencement of work and shall contact Westpark Design on Ph: 09 438 8693 immediately should there be any discrepancies
  - DO NOT SCALE from drawings. Work from dimensions shown on drawings. If in doubt, Please ask.
  - All drawings to be read in conjunction with:
    - Architectural Specifications
    - Studio Marotta Structural Engineering Calculations
  - The Contractor will be solely responsible for locating and checking for all Existing Underground Services Prior to commencement of work.
- Top Plate to Stud Fixing**
- 0.91 x 25mm x 400 Long Lumberlok Sheet Brace Straps fixing each Stud to Top Plates. Install 6 / 30 x 3.15mm Lumberlok Product Nails to Stud & Top Plate
- Lintel Fixings**
- See Sht A3-501 for Lintel Fixing Details
  - Connect Lintels to Jack Studs with Lumberlok Type B Fixing or Equivalent
- Cavity Construction**
- Where Stud Spacing is Greater than 450mm, Install additional 45 x 20mm Timber Battens between CLD Battens to restrain the Insulation & Building Wrap from Bulging into the Drained Cavity (300mm Maximum Centers to All Battens)
- Wall Linings**
- External Walls to Garages Must Have Interior Linings Installed to Comply with AS E2/AS1
- Flexible Wall Underlays Shall:**
- Be Run Horizontally
  - Have Upper Sheets Lapped over Lower Sheets Minimum 75mm
  - Be Lapped Not Less than 150mm over Studs @ Vertical Joints
  - Extend 35mm Below Bottom Plate or Bearer
- Product Details**
- Main Contractor is responsible for ensuring all Specified Products are installed strictly in accordance with the Manufacturer Installation Details & Relevant Information.

AMENDMENT

Checked By.....

Building Officer: *[Signature]*

Planning Officer.....

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BUILDING CONTROL

BC 150039

- Revision B 1/04/2015**
- Amend Concrete / Timber Floor Ratio
  - Amend Foundation Layout & Bracing
  - Add Flitch Beam to Master Bedroom Subfloor, Delete Pile, Amend Bracing
  - Additional W/C to Garage
  - Amend Reinforcing to Kitchen Masonry Walls

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BC NUMBER | DAY | MTH |  
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**A | D | N | Z**  
ARCHITECTURAL DESIGNERS NZ INC



**STUDIO MAROTTA**  
33 Norfolk Street  
P.O. Box 252, Whangarei  
Ph: 09 4388699,  
Mobile: 021 156 9064  
Email: marotta@xinet.co.nz

Client:  
Tim Jones & Kylie Cox

Drawing Title:  
Proposed Residence  
28 Erskine Rd, Maunu

Issue No:	Issue No:	Drawn:	Scale:	Sheet:
Concept Issue 14/03/2014	Project Issue 18/07/2014	KG	1:50 @ A1	A1-202
Concept Issue 21/03/2014	Project Issue 20/07/2014	Checked:	1:100 @ A3	
Concept Issue 17/04/2014	Building Consent Issue 18/08/2014	KG		
Concept Issue 8/05/2014	BC Issue Revised 11/10/2014	Project No:		
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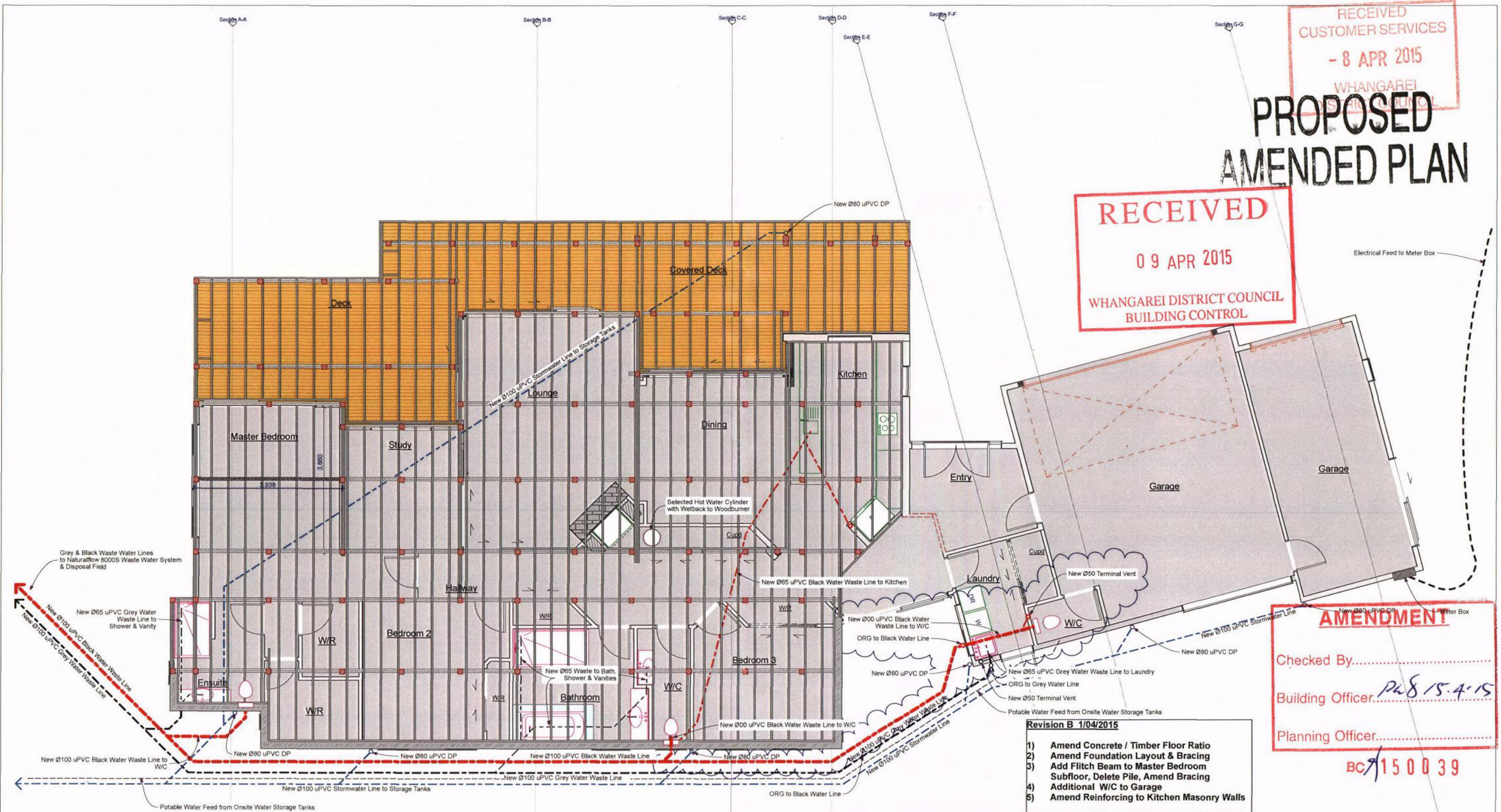
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Building Officer..... *PLS 15.4.15*  
Planning Officer.....

BC 150039



- Revision B 1/04/2015**
- 1) Amend Concrete / Timber Floor Ratio
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  - 4) Additional W/C to Garage
  - 5) Amend Reinforcing to Kitchen Masonry Walls

- Revision A**
- 1) Amend Flashing to Woodburner Flue

**Construction Notes**

**General**

- 1) All drawings to be read in conjunction with:
  - Architectural Specifications
  - Studio Marotta Structural Engineering Calculations

**Sanitary Plumbing & Drainage**

- 1) All Plumbing & Drainage to Comply with the National Plumbing & Drainage Standard AS / NZS 3500
- 2) Pipe Gradients:
  - Ø40mm - 1.40 OR 2.5%
  - Ø65mm - 1.40 OR 2.5%
  - Ø100mm - 1.60 OR 1.65%

**Potable Water Supply**

- 1) Potable Water to be Supplied from Onsite Storage Tanks
- 2) Hot Water to be Supplied by a Selected Electric Pressure Cylinder with Wetback Connection to Woodburner

**Product Details**

- 1) Main Contractor is responsible for ensuring all Specified Products are installed strictly in accordance with the Manufacturer Installation Details & Relevant Information.

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BC NUMBER 1504  
00757 - 1504  
WHANGAREI DISTRICT COUNCIL  
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Waste & Stormwater Disposal 1:50



**WESTPARK DESIGN**  
165 Peach Orchard Rd, Whakapara  
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Ph: 09 4388693,  
Mobile: 0274 866 932  
Email: design@westpark.net.nz

**A D N Z**  
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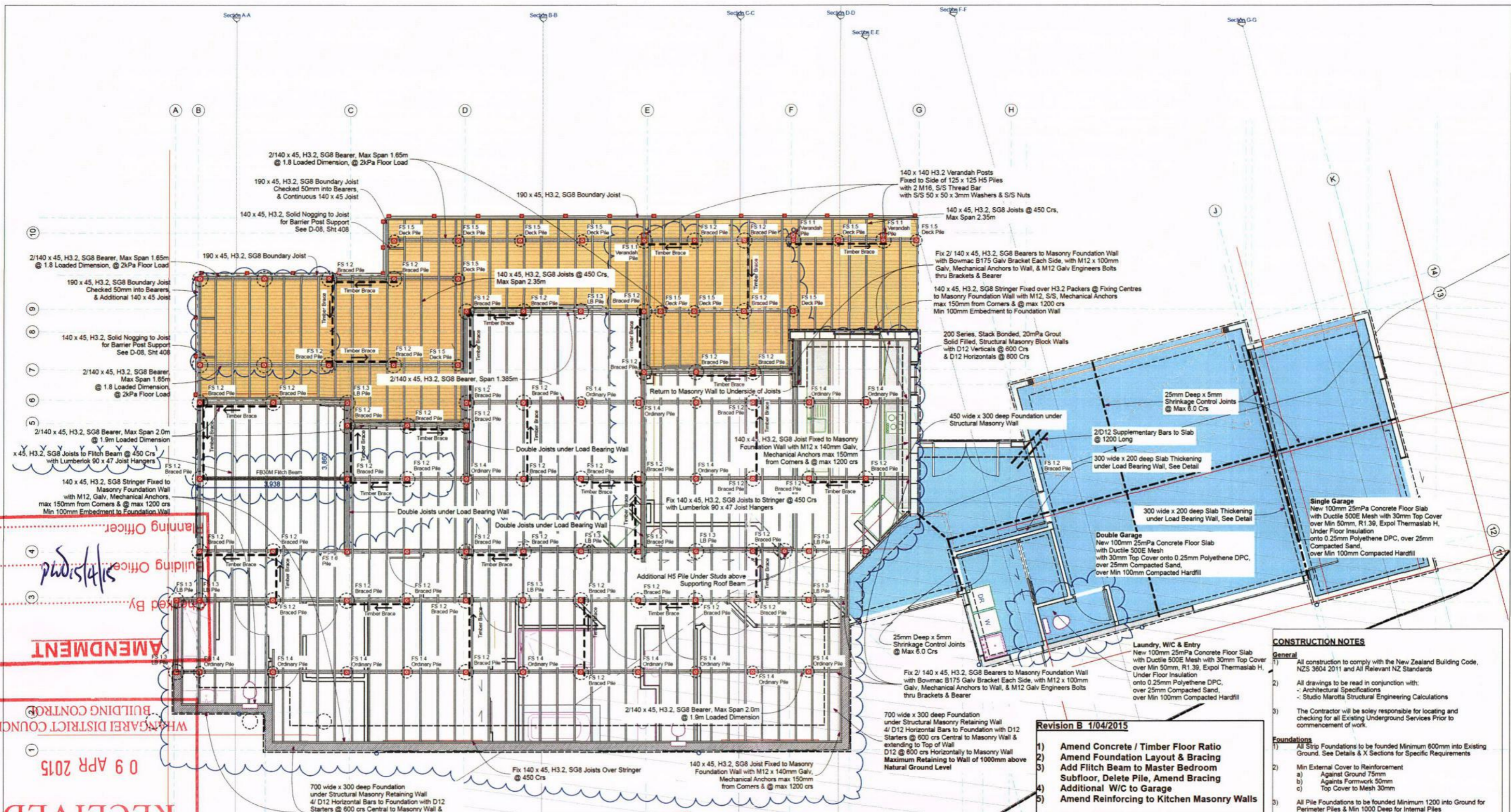
**STUDIO MAROTTA**  
33 Norfolk Street  
P.O. Box 252, Whangarei  
Ph: 09 4388699,  
Mobile: 021 156 9064  
Email: marotta@xfinet.co.nz

Client: Tim Jones & Kylie Cox

Drawing Title: Proposed Residence  
28 Erskine Rd, Maunu

Issue No:	Issue No:	Drawn:	Scale:	Sheet:
14/03/2014	15/07/2014	KG	1:50 @ A1	A5-104.2
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11/04/2014	15/08/2014	KG		
15/08/2014	15/08/2014	Project No:		
15/08/2014	01/04/2015	14-142		





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 Mobile: 021 156 9064  
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Client: **Tim Jones & Kylie Cox**

Drawing Title: **Proposed Residence  
 28 Erskine Rd, Maunu**

Issue No: 14.03.2014  
 Consent Issue: 14.03.2014  
 Permit Issue: 11.04.2014  
 Building Consent Issue: 09.09.2014  
 DC Issue Revised: 01.04.2014  
 BC Issue Revised: 8.05.2014

Issue No: 16.07.2014  
 Permit Issue: 16.07.2014  
 Permit Issue: 28.07.2014  
 Building Consent Issue: 09.09.2014  
 DC Issue Revised: 01.04.2014  
 BC Issue Revised: 8.05.2014

- Revision B 1/04/2015**
- 1) Amend Concrete / Timber Floor Ratio
  - 2) Amend Foundation Layout & Bracing
  - 3) Add Fitch Beam to Master Bedroom Subfloor, Delete Pile, Amend Bracing
  - 4) Additional W/C to Garage
  - 5) Amend Reinforcing to Kitchen Masonry Walls

- Revision A**
- 1) Amend Flashing to Woodburner Flue

**PILE DETAILS**

FS 1.1	NEW 125 x 125mm HS VERANDAH POST PILE SET INTO Min 0400mm or 350 x 350 x 1200mm DEEP 17.5 mPa CONCRETE FOUNDATION
FS 1.2	NEW 125 x 125mm HS BRACED PILE SET INTO Min 0400mm or 350 x 350 x 1200mm DEEP 17.5 mPa CONCRETE FOUNDATION
FS 1.3	NEW 125 x 125mm HS LOAD BEARING PILE SET INTO Min 0400mm or 350 x 350 x 1200mm DEEP 17.5 mPa CONCRETE FOUNDATION
FS 1.4	NEW 125x125mm HS ORDINARY PILE SET INTO Min 0300mm 1200mm DEEP 17.5 mPa CONCRETE FOUNDATION
FS 1.5	NEW 125 x 125mm HS DECK PILE SET INTO Min 0300mm x 1200mm DEEP 17.5 mPa CONCRETE FOUNDATION
FS 1.6	NEW 125 x 125mm HS PILE SUPPORTED ONTO NEW CONCRETE STRIP FOUNDATION & FIXED TO MASONRY FOUNDATION WALL WITH 2 x M12 S/S THREAD BAR CHEMICALLY FIXED MIN 100MM INTO WALL

- CONSTRUCTION NOTES**
- General**
- 1) All construction to comply with the New Zealand Building Code, NZS 3604:2011 and All Relevant NZ Standards
  - 2) All drawings to be read in conjunction with:
    - Architectural Specifications
    - Studio Marotta Structural Engineering Calculations
  - 3) The Contractor will be solely responsible for locating and checking for all Existing Underground Services Prior to commencement of work.
- Foundations**
- 1) All Strip Foundations to be founded Minimum 600mm into Existing Ground. See Details & X Sections for Specific Requirements
  - 2) Min External Cover to Reinforcement
    - a) Against Ground 75mm
    - b) Against Formwork 50mm
    - c) Top Cover to Mesh 30mm
  - 3) All Pile Foundations to be founded Minimum 1200 into Ground for Perimeter Piles & Min 1000 Deep for Internal Piles
  - 4) All Foundations to be inspected & Approved by Geotech or Structural Engineer before commencing with Concrete Construction
- Floor Slab**
- 1) Granular Fill Material Complying with NZS 3604:2011, 7.5.3.2 shall be Placed & Compacted in Layers of 150mm Max Thickness over the Area Beneath the Proposed Ground Slab, so that the Total Thickness of Granular Base is not Less than 75mm or more than 600mm. SED is Required if Filling to Subbase is in Excess of 600mm.
  - 2) Slab Reinforcing Mesh to be Ductile Grade 500E Ground Slab Reinforcing Shall Extend to Within 75mm of the Outside Edge of the Slab & Shall Consist of a Min of 147mm<sup>2</sup>m Both Ways, Welded Steel Mesh Sheets shall be Lapped by 225mm @ Sheet Joints
  - 3) All Concrete shall be Normal Grade in accordance with NZS3109 to the Following Strengths:
    - Strip Foundations: 25mPa
    - Floor Slabs: 25mPa
    - Drilled Pile Foundations: 20mPa
- Product Details**
- 1) Main Contractor is responsible for ensuring all Specified Products are installed strictly in accordance with the Manufacturer Installation Details & Relevant Information.

**Foundation Layout**

**1:50**



## Code Compliance Certificate BC1400754

### Section 95, Building Act 2004

Issued: 07 December 2017

#### The Building

Street address of building: 28 Erskine Road (Pvt)  
Whangarei 0110

Legal description of land where building is located: LOT 31 DP 209159

LLP: 101996

Building name: N/A

Location of building within site/block number: N/A

Level unit number: N/A

Current, lawfully established use: Detached Dwelling

Year first constructed: 2014

#### The Owner

K J Cox  
T I Jones  
28 Erskine Road (Pvt)  
Whangarei 0110

Phone number: N/A

Mobile number: 02102587413

Facsimile number: N/A

Email address: tim\_jones08@hotmail.com

Website: N/A

First point of contact for communications with the building consent authority:

#### Contact Person

T I Jones  
28 Erskine Road (Pvt)  
Whangarei 0110

Phone number: N/A

Mobile number: 02102587413

Facsimile number: N/A

Email address: tim\_jones08@hotmail.com

Website: N/A

Street address/registered office: 28 Erskine Road (Pvt)  
Whangarei 0110



DEC



**Building Work**

Building Consent Number:

Building Consent Amendment:

Issued by:

**New Dwelling**

BC1400754

BCA150039 - Alterations to Proposed Dwelling -  
Foundation Layout, Flitch Beam, Toilet and Garage

Whangarei District Council

**Code Compliance**

The building consent authority named below is satisfied, on reasonable grounds, that -

- (a) The building work complies with the building consent.



07 December 2017

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Kylee Akast

Support Assistant – Building Processing  
On behalf of Whangarei District Council

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Date