

Pre-sale Building Inspection Report

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RED LBP PRE-PURCHASE REPORT

- ✔ Completed by a trade professional
- ✔ Complies with NZS 4306:2005 Residential Property Inspection
- ✔ Full comprehensive written report
- ✔ Non-invasive moisture testing
- ✔ Floor level spot checked
- ✔ Summary identifying any significant faults or defects

PRE-PURCHASE



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PRE-PURCHASE BUILDING REPORT

Property Address	956D Whangarei Heads Road, Parua Bay, Northland, 0174, NZL		
Client	Penny Bradford		
Date of Inspection	17th March 2024	Time	1:00 pm
Inspector	Jamie Mackintosh Licensed Building Practitioner Brick & Block		
LBP Number	116085		
Additional Information			
People Present	Inspector, Agent		
House Occupied	Yes		





CERTIFICATE OF INSPECTION IN ACCORDANCE WITH NZS 4306:2005

REDLBP.
BUILDING REPORTS & PROPERTY INSPECTIONS

Company: Northland Inspections trading as RedLBP

Client: Penny Bradford

Date of Inspection: 17th March 2024

Site Address: 956D Whangarei Heads Road, Parua Bay, Northland, 0174, NZL

Inspector: Jamie Mackintosh

Qualifications: Licensed Building Practitioner Brick & Block

The following areas of the property have been inspected:

Inspection	Yes	No	Limited	N/A
Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Subfloor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Exterior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Exterior	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Roof Space	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Interior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Accessory Units, Ancillary Spaces and Buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Any limitations to the coverage of the inspection are detailed in the written report.

Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspections - and I am competent to undertake this inspection.

Name: Jamie Mackintosh

Date: 17th March 2024

Signature:

(for and on behalf of REDLBP)

An inspection that is carried out in accordance with NZS 4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.

Note * please refer to TERMS of ENGAGEMENT

LIMITATIONS, CONDITIONS, REPORT TYPES & SCOPE OF REPORT

PURCHASE BUILDING REPORT

This report has been generated through a non-invasive inspection and is intended to provide recommendations solely on visible items. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report.

This report is not a weathertight report. Please note that although moisture readings will be taken and will be reported on if they are deemed to be outside of a general tolerance, this does not replace the recommendations of a trade qualified weathertightness expert, and any readings taken are of a non-invasive type only.

1) The scope of the report will be limited to:

- a. Significant defects
- b. Particular attributes
- c. Gradual deterioration; and
- d. Significant maintenance required

2) It will exclude:

- a. Legal title
- b. Building warrant of fitness and services prescribed on a compliance schedule
- c. Planning, resource consent issues
- d. Building consent issues
- e. Long term maintenance planning
- f. Rental property tenancy inspections
- g. Heritage obligations
- h. Compliance the Body Corporate rules, the terms of memorandum of cross lease or a company title occupation agreement.
- i. LIM – Land Information Memorandum

GENERAL

This report has been completed via a non-invasive inspection and provides recommendations only to items that were able to be seen. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report. The report is to be used by the client only as guidance for evaluation of the condition of the premises and is not intended as an all-encompassing report dealing with the premises from every aspect. The report is not intended to provide an indication of value, worth or suitability of the premises. This report should be seen as a general guide from a qualified trade professional providing a snapshot of the property and its elements. It is not designed to advise a potential buyer on the advisability of purchase,

rather to provide enough information to satisfy the client and the lender on the elements of the property from a general perspective. Where qualified building recommendations have been inappropriate, recommendations from sub-trade experts have been given and noted. The experts may include electrical inspectors, weathertightness experts, engineers, and surveyors.

The inspection should not be misused as a form of compliance inspection as per the local authorities, nor should it be used as any guarantee or warranty of the present or future adequacy or integrity of any of the systems reported on in the property. Any descriptions presented within this report, are based on trade knowledge and experience. These should be taken as general estimates only, based on the opinion of the qualified LBP completing the report and there may be cause for variation. Should any disputes arise due to the content of this report, this will be actioned as per the terms and conditions accepted at the time of booking the inspection. In all inspections, the inspector will not touch or move vendor's, tenant's or occupant's possessions or other items within the house and RedLBP inspectors will not be responsible for linings, flooring and other areas not able to be seen because of such possessions or items obscuring line of sight observations. This applies equally where carpeting, mats and so on might be obscuring/covering a view of any issues or defect in concrete or wooden flooring. The Inspector shall not disassemble equipment, or undertake any intrusive or destructive inspection, moving of furniture, appliances or stored items, or excavation. The report is valid only for a period of 30 days after release to the client, after which time the premises will require re-inspection to determine the currency of the report together with any changed circumstances which may affect the premises.

This report contains information obtained by inspection, sampling, testing or other means of investigation. Unless specifically stated otherwise in this report, RedLBP has relied on the accuracy, completeness, currency, and sufficiency of all information provided to it by, or on behalf of, the client or any third party, and has not independently verified the information provided. RedLBP accepts no responsibility for errors or omissions in, or in the currency or sufficiency of, the information provided.

The assessment of any apparent defect which may occur intermittently or usually occurs after regular use will not be reported nor any defect that is only evident with prevailing weather.

This report must be read in its entirety, it may not be reproduced in part by any individual.

Only the named owner of the report may use the information contained within the report.

The purchaser of this report has purchased the right to review the information contained within the report. All information remains the sole property of RedLBP Ltd.

Written reports completed by Red LBP follow the voluntary standard NZS4306:2005.

Note. This report has been produced as a result of a visual-only inspection of what was seen at the time and day of the inspection. The report is general in nature and is not intended as a substitute for professional advice. Nor does it purport to a survey plan of the site of the building. If further clarification is needed on any comments or any explanation at all, is required on any part of the report or photos then please contact the writer as soon as possible.

EXECUTIVE SUMMARY

The overall condition of the house is average. This is in context of the average condition of similar buildings of approximately the same age, type of construction and material type.

The dwelling was originally built in the 2000's.

Areas not inspected or accessed fully - Roof space, subfloor and roof system.

The reason for not inspecting these - Not able to be viewed safely from a 3.6-metre ladder and confined space.

All attempts will be made to safely view, but if unable to inspect the areas, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

A confined space:

- is an enclosed or partially enclosed space and
- is not intended or designed primarily for human occupancy and
- may present a risk from one or more of the following at any time:
 - : unsafe concentration of harmful airborne contaminants
 - : unsafe concentration of flammable substances
 - : unsafe levels of oxygen
 - : substances that can cause engulfment
 - : harmful or toxic substances

The property is in average condition for its age and has been well maintained over its life with some minor issues as detailed within the report, these do not require immediate attention and can be attended to as part of routine maintenance.

PROPERTY IDENTIFIERS

Address	956D Whangarei Heads Road, Parua Bay, Northland, 0174, NZL
Legal Description	RAHUIKURI C1V BLK XV WHANGAREI SD
Certificate of Title	828467
Land classification	Wind Zone - High - BRANZ - GIS Sea Spray Zone
Weather	Fine
Soil	Dry
Site Exposure	Open to sea front

BUILDING DESCRIPTION

The property was originally built in the 2000's and is located in Parua Bay. It is a freehold title situated on a ROW section that is on a hill.

The dwelling is two storey with three bedrooms and two bathrooms. Internally, the property has heating that consists of a heat pump and solid fuel burner which are located in the living room.

The water system is heated by solar. The internal linings are plasterboard and are decorated with paint. The floors are chipboard or similar with floor coverings being tile, vinyl and carpet.

The foundation system is a site specific engineered foundation system with the dwelling being timber construction. The exterior joinery is aluminium and is single-glazed. The property is clad with PVC weatherboard with a factory finish. The roof is profiled metal.

There is a garage that is attached to the house, with double capacity. The driveway is concrete.

Generally, the property has a living aspect of east and includes hard landscaping that consists of a deck and concrete paths. Soft landscaping of lawn and trees.

BUILDING ELEMENTS

The following is a summary of the building elements inspected:

Type	Inspected
Weathertight Risk Matrix	
Weathertightness risk	Viewed
Foundation	
Engineered design	Limited access
Wall Framing	
Timber framed - wall	Not viewed
Roof Space	
Timber framed - roof	Limited access
Interior Linings	
Plasterboard ceiling and wall linings, timber trims and doors, carpet, vinyl and tile floor coverings.	Viewed
Kitchen	Viewed
Living room	
Bedroom 1	Viewed
Bathroom	Viewed
Hallway	Viewed
Laundry	Viewed
Bathroom	Viewed
Bedroom 2	Viewed
Bedroom 3	Viewed
Stairway	Viewed
Rumpus room	Viewed
Garage	Viewed
Roof System	
Profiled metal	Limited access
Flashings & penetrations	Limited access
Guttering, downpipes, fascia & soffits	Limited access
Exterior Cladding	
PVC weatherboard	Viewed
Exterior Joinery	
Single-glazed aluminium joinery with timber reveals.	Viewed

Weathertight Risk Matrix

Homeowners weathertightness risk assessment.

Weathertightness is the ability of a building's external cladding and components to prevent external moisture ingress to enter the internal of the building.

Wind zone - High = 1 (scoring range of 0-2).

Number of stories - Two storeys in part = Medium risk - 1 (scoring range of 0-4).

Roof/wall intersection design - Low risk - roof-to-wall junctions fully protected (e.g. hip or gable roof with eaves) = 0 (scoring range of 0-5).

Eaves width - Very high risk - 1 mm - 100 mm at first storey, or 1 mm - 450 mm at second storey, or less than 450 mm above second storey = 5 (scoring range of 0-5).

Envelop complexity - Medium risk - Moderately complex, angular or curved shapes (e.g. Y or arrowhead) with no more than two cladding types = 1 (scoring range of 0-6).

Deck design - Low risk - None, timber slat deck, or porch at ground level = 0 (scoring range of 0-6).

Total Risk matrix score - 8.

Philosophy of risk assessment

The development of the risk assessment approach taken in E2/AS1 is based on work undertaken in 1999 by two Canadians, architect Don Hazeldon and building scientist Paul Morris. They developed a simple concept called the 4Ds to describe four basic principles of water management in buildings.

Deflection: keeping water away from potential entry points.

Drainage: providing means of removing water that does enter.

Drying: allowing any remaining moisture to be removed by ventilation or diffusion, and

Durability: providing materials with appropriate durability.

As per the guidance document for Acceptable Solution E2/AS1 ("E2/AS1") for Clause E2 External Moisture of the New Zealand Building Code.

Recommendations:

The weathertight risk matrix is for design purposes, although it allows us to consider the home's weathertightness it does not reflect the condition of the home.

Foundation

The subfloor space was viewed via the manhole located on the the east side of the dwelling under the deck.

Please note this is a restricted access area for inspection due to current NZ legislation (Health & Safety at Work Act 2015) in regard to working alone and in confined spaces. All attempts will be made to safely view, but if unable to inspect the area, it will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference. The inspection was taken from the access hatch. Size - 1800mm x 800mm.

Foundation type - Type A - Timber-framed suspended timber floor structures supported only on piles.

Foundation wall - Timber framed.

Piles - Timber.

Condition of piles - No visible issues at the time of the inspection.

Sub-floor timbers, type and condition - Timber treatment was unable to be determined. No visible issues.

Flooring - type and condition - Not visible

Insulation - Polystyrene.

Ground cover - None.

Ground condition - Dry at the time of the inspection.

Underfloor Space - Tidy.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible - Supported.

Plumbing - Waste and water pipes visible - Supported.

Plumbing type - PVC waste and Polybutylene - Blue and copper water pipes.

Structural alterations - No.

Sub-floor Clearance - Where visible - Variable.

Visible defects - No visible defects.

Recommendations:

The floor levels were checked using a self-levelling laser and in our opinion are at acceptable tolerances. There are indications of undulations and minor slopes at random locations.

Tolerances as per MBIE guide to tolerances, materials and workmanship in new residential construction 2015. as per below:

- Finished floor slope no more than 1:200 = 5 mm per 1 metre - MBIE

MBIE - Ministry of Business, Innovation and Employment.



Photo 3

Subfloor showing timber bearers on timber piles. Stainless fixings.



Photo 4

Subfloor showing blue and copper water pipes.



Photo 5

Subfloor showing polystyrene insulation.

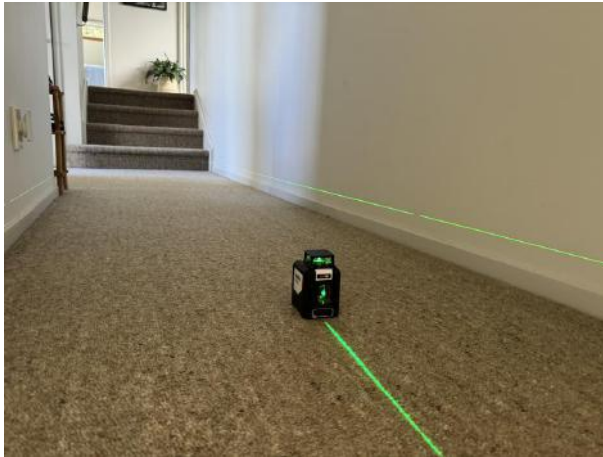


Photo 6

Floor levels checked with a self levelling laser level.

Wall Framing

Timber due to age and construction type.

Protimeter Reachmaster Pro moisture metre is used for the testing of moisture levels in the dwelling. At the time of the inspection internal surface moisture test were completed, this was consistent throughout the house with no abnormalities.

The ensured values are only to be interpreted as indicators (dry, risk, wet).

<60 = Dry

<60 but <170 = Dry (Green)

>170 but <200 Risk (Yellow)

>200 but <999 = Wet (red)

The condition of the timber framing is unknown.

Recommendations:

No elevated moisture readings were detected, all normal at time of inspection.

The condition of the internal framing is unknown.



Photo 7

No elevated moisture readings at the time of inspection.



Photo 8

No elevated moisture readings around the wet areas at the time of inspection.

Roof Space

The ceiling space was viewed via a manhole located in the rumpus room. Access hatch size - 1200mm x 800mm.

All attempts will be made to safely view, but if unable to inspect the area, it will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference. Not all areas of the roof space structure can be seen and the purpose of our inspection is to check for any overall significant defects from a visual inspection.

Roof frame construction and connections - Manufactured timber trusses. Connections were not all visible.

Condition - No issues visible.

Roofing underlay - Bituminous self-supporting paper. Condition - No visible issues.

Obvious structural alteration - No.

Ceiling construction - Timber ceiling battens visible.

Vermin and insects - No visible signs during the inspection.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible - Unsupported.

Non-Electrical wiring - Aerial/Data - None visible.

Plumbing - All pipework sighted is in a tidy order.

Plumbing type - Copper.

Insulation - Glass wool.

Thickness of insulation visible - Over 125mm.

Coverage - Blanket - Fitted between or over joists - Acceptable.

Discharges into the roof space - No.

Intertenancy fire wall - Not applicable.

Stored items - Yes.

Visible defects - No visible defects at the time of the inspection.

Recommendations:

As part of regular maintenance, it is advisable to conduct regular visual checks of the roof space via the manhole to identify any issues, including leaks or pest activity.

Skillion roofs by design do not have access to view either construction or if insulation is fitted.

Most properties with this type of roof construction over the past 50-odd years will have insulation, just to what degree cannot be easily established. The older the home the less insulation or thickness of insulation would be present.

This type of roof will or should also have ventilation allowing it to breathe and the condensation to escape. Thus maintaining the roofing structural integrity.

The condition of the roof framing is unknown.



Photo 9

Skillion roof over the living area.



Photo 10

Roof space showing manufactured timber trusses and glasswool insulation.



Photo 11

Roof space showing copper water pipes.



Photo 12

Large amount of broken polystyrene insulation on top of the glass wool, above the garage. Recommend removing.

Interior Linings

Plasterboard ceiling and wall linings with a paint finish, timber trims and doors with a paint finish, carpet, vinyl and tile floor coverings.

Recommendations:

The inspection and resulting report are not intended to identify or describe minor faults or minor defects. A minor fault or minor defect is a matter which, in view of the age, type or condition of the residential building, does not require substantial repairs or urgent attention and rectification and which could be attended to during normal maintenance. Minor faults and defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes.

Kitchen

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Safety glass - Painted timber reveals.

Internal doors - Not applicable.

Benchtop - Sealed to cabinet/wall junction - Yes.

Benchtop material - Laminate.

Benchtops level - Yes.

Damage - None visible at the time of the inspection.

Cabinetry - Functional - Yes. Material type - Laminate.

Cabinetry requires maintenance - No.

Water hammer - No noise or vibration noted.

Sink - Leaks or visible issues - No.

Faucet functional - Yes.

Type of plumbing - PVC waste.

Heat shield - Tiled.

Cooktop - Induction - Not checked. Unable to test induction top, powered on only.

Oven - Powered on only - Functioning - Yes.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Garbage disposal - Not applicable.

Floor coverings - Vinyl.

Dishwasher - Functional - Yes. This was powered on only, not run through a cycle.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Panel.

Defects - None identified.

It is outside the scope of this report to check the operation and performance of the appliances, these are checked only for power connection. It is recommended that appliances are serviced regularly to ensure proper safe operation.



Photo 13

Kitchen.

Living room

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass and safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 14

Living room.

Bedroom 1

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Hollow core.

Defects - None identified.



Photo 15

Bedroom one.

Bathroom

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Tiles.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Vanity - Wall mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste.

Splashback - Tiled.

Bath - Inbuilt (enclosed cradle). Taps and waste functional - Yes.

Shower - Enclosure. No visible moisture issues.

Glass type - Safety.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Leaks from shower fittings - No.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Heating - No.

Heated towel rail - No.

Lights/Switch - Operational - Bulbs required for some fittings.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - No significant issues.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

All wet areas, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

Recommendations:

Inbuilt baths can be prone to maintenance issues. Depending on how the bath has been installed and maintained depends on how watertight it remains and how much future maintenance it will require. Typical failure points are where the bath meets the wall and around the tap units.

It is recommended you constantly monitor these junctions to ensure damage is not occurring to the adjacent walls. No visible issues were noted during the inspection.



Photo 16

Bathroom.



Photo 17

Shower has been replaced.

Hallway

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 18

Hallway.

Laundry

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Located - Laundry room.

Floor coverings - Tiles.

Laundry tub/sink - Powder-coated metal cabinet with a stainless steel tub. No visible issues.

Taps & waste - Functional - Yes.

Leaks - None visible at the time of the inspection.

Type of plumbing - PVC waste and braided wire.

Washing machine discharge - To the waste under the tub.

Water hammer - No noise or vibration noted.

Cabinets - None.

Cupboards - Not applicable.

Ventilation - Opening door or window. Mechanical - None.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Defects - None identified.



Photo 19

Laundry.

Bathroom

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Tiles.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Vanity - Wall mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste.

Splashback - Tiled.

Shower - Wet area shower. No visible moisture issues.

Shower curtain.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Leaks from shower fittings - No.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Heating - No.

Heated towel rail - No.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.

Waterproof membrane - The condition of the waterproof membrane to the shower is not visible, and its condition cannot be determined.

Waterproof membrane (floors) - The condition of the waterproof membrane is not visible, and its condition cannot be determined.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.



Photo 20

Bathroom.

Bedroom 2

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Panel.

Defects - None identified.



Photo 21

Bedroom two.

Bedroom 3

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 22

Bedroom three.

Stairway

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Not applicable.

Type of stairs - Closed.

Construction material - Timber.

Handrail - Secure.

Height of handrail - Between 900 mm & 1000 mm.

Balusters (posts providing support to the top & bottom rails of the barrier) - Secure - Yes. Material - timber.

Balustrade - (barrier) Timber.

Internal doors - Not applicable.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 23

Stairway.

Rumpus room

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.

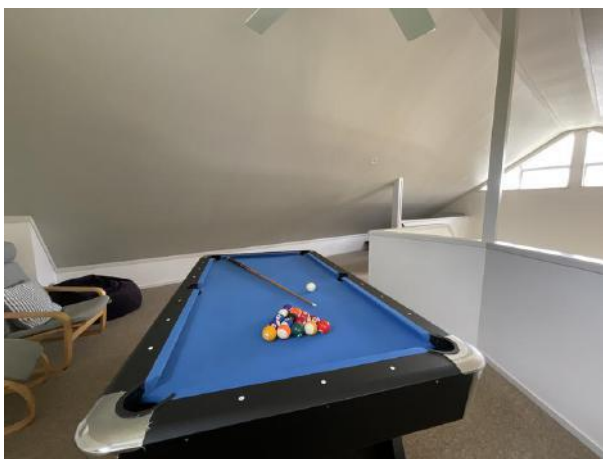


Photo 24

Rumpus room.

Garage

Ceiling linings - None.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - None.

Wall linings - Plywood and masonry block - Paint finished.

Wall defects - Minor cosmetic issues.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Garage door - Roller - Double - Aluminium - Not insulated - Automatic opener functional - Yes.

Internal doors - Not applicable.

Floor coverings - None.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 25

Double garage. Masonry block and timber framed.



Photo 26

Masonry block walls and timber framed ceiling. No ceiling linings.

Roof System

Type of roof construction - Gable roof.

Pitch of roofs - 35 - 40 degrees.

Pitch appropriate for materials - Yes.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

All attempts will be made to safely view, but if unable to inspect, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

Roofing material - Profiled metal - Long run.

Coating - Factory finish.

Condition of roofing material coating - No visible issues at the time of the inspection.

Fixings - Screw.

Laps - Correctly lapped.

Corrosion or damage to the roofing material - None visible at the time of the inspection.

Parapets - Not applicable.

Moss, mould or lichen - None visible at the time of the inspection.

Roof-to-wall junctions - No visible issues at the time of the inspection.

Visible defects - No visible defects at the time of the inspection.

Recommendations:

The roof was viewed from a 3.6 metre ladder to all accessible elevations.

Regular maintenance is necessary to keep the exterior surfaces clean and free from grime and contaminants, especially in areas that are not typically washed by rain, such as below spouting and eaves. Failure to clean these surfaces can lead to accelerated deterioration of construction materials. It's important to schedule normal maintenance over the next few years.



Photo 27

Profiled metal roof with screw fixings.



Photo 28

Visible rusting to some screw heads. Recommend replacing where required.

Flashings - Flashings as per their design are never completely visible, the inspector will view all areas accessible safely from a 3.6 metre ladder or safe vantage point.

Barge - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Hips - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Ridges - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Apron - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Penetrations

Type - Flues and venting.

Flashing material - Rubber.

Condition - No visible issues at the time of the inspection.

Flashings - No back flashing installed.

Sealants - No visible issues at the time of the inspection.

Signs of leaking - None visible at the time of the inspection.

Recommendations:

Over time, sealants can deteriorate due to exposure to weather conditions, UV radiation, temperature fluctuations, and general wear and tear. Regular inspections of the roofing system should include a thorough examination of the sealants to identify any signs of degradation, such as cracks, gaps, or peeling.

Checking the sealants involves visually inspecting the areas where they are applied, such as around vents, chimneys, skylights, and flashings. If any issues are identified, it is essential to address them promptly to prevent further damage and maintain the integrity of the roofing system.

Although the roof penetrations may have been compliant at the time of construction it is recommended that future maintenance would include the installation of a watershed back flashing is installed under any EPDM boot flashing with a pipe diameter over 85mm, as per, E2/AS1 permits the use of boot flashings where: the maximum roof pitch is 45°, the minimum pitch is 10°, or if the base of the flange covers one or more complete troughs or if the pipe diameter is no more than 85 mm.



Photo 29

Example of a metal barge flashing. Functional.



Photo 30

Example of a metal apron flashing with kick out. Functional.



Photo 31

Example of a metal hip flashing. Functional.



Photo 32

Flue penetration with rubber boot flashing.



Photo 33

Vent penetration with rubber boot flashing.

Guttering

Type - External.

Material - PVC.

Snow straps - No.

Gutter guard - Yes.

Falls - Functional.

Fixings/brackets - Functional.

Obstructions - Clear at time of inspection.

Damage/Corrosion/Leaks - None visible at the time of inspection.

Adequate outlets - Yes - No visible issues.

Rainwater heads and droppers - No visible issues at the time of the inspection.

Moss and or lichen visible on or in the guttering system - None visible at the time of the inspection.

Downpipes

Material - PVC.

Fixings - No visible issues at the time of the inspection.

Brackets - No visible issues at the time of the inspection.

Damage - No visible issues at the time of the inspection.

Corrosion - None visible at the time of the inspection.

Spreaders - No visible issues.

Leakage, blockages & discharge - No visible issues at the time of the inspection.

Fascia & bargeboards

Material - Timber.

Finish - Paint.

Damage & corrosion or rot - No visible issues at the time of the inspection.

Soffits & eaves

Material - Fibrous cement sheeting.

Finish - Painted.

Damage, rot or corrosion - No visible issues at the time of the inspection.

Soffit width from cladding to fascia - Variable.

Eaves & soffit widths measured from the external face of wall cladding to the outer edge of the overhang, including the fascia.

Recommendations:

The roof was viewed from a 3.6 metre ladder to all accessible elevations.

The gutters were clear at the time of the inspection. It is important to keep the gutters clear of debris to ensure proper drainage. Clogged gutters can cause water to overflow and pool on the roof or into other elements of the building, leading to potential water damage, leaks, and structural issues. Regularly removing leaves, twigs, and other debris from the gutters prevents blockages and allows water to flow freely away from the roof.



Photo 34

Example of PVC guttering. Clear at the time of inspection.



Photo 35

Gutter guard installed on the west facing gutters.



Photo 36

Example of fibre cement soffits and timber fascia boards.

Exterior Cladding

Type - Weatherboard profiled PVC - Fixed horizontally.

Vented cavity - Yes.

Finish - Factory finish.

Condition of finish - No visible issues.

Cupping or curling - None visible.

Cracks/splits - None visible.

Facings and trims - Securely fixed with no gaps.

Soakers - PVC.

Ground clearance - No visible issues.

Seals around doors and windows - No visible issues.

The exterior cladding was only viewed from any visible ground-level location or from any deck or balcony on the outside of the dwelling.

Recommendations:

Regular maintenance is necessary to keep the exterior surfaces clean and free from grime and contaminants, especially in areas that are not typically washed by rain, such as below spouting and eaves. Failure to clean these surfaces can lead to accelerated deterioration of construction materials. It's important to schedule normal maintenance over the next few years.



Photo 37

East elevation.



Photo 38

Seperation in the sealer on the angle junctions by the front door. Recommend re-sealing.



Photo 39

North elevation.



Photo 40

West elevation.



Photo 41

Recommend sealing the cladding to roof junction on the west side.



Photo 42

South elevation.



Photo 43

Example of vented cavity strips.



Photo 44

Update 20-3-24 - Cladding to roof junction has now been sealed. Functional.



Photo 45

Update 20-3-24 - Angle junctions by the front door have been sealed. Functional.

Exterior Joinery

Single-glazed aluminium joinery.

Coating - Powder coated.

Joinery rubbers - No visible issues at the time of inspection.

Aluminium - No visible issues at the time of the inspection.

Hardware - Repairs or maintenance required (refer to the photos below).

Tracks, drainage channels & weep-holes - No visible issue at the time of the inspection.

Reveals - Timber.

Finish - Painted. No visible issues at the time of the inspection.

Damage - None visible at the time of the inspection.

Cladding/soffit junctions - No visible issues at the time of the inspection.

Exterior flashings - Head flashings installed.

Scribers and/or seals - Sealed.

Entrance doors - Metal door and aluminium frame.

Garage joinery - Single-glazed.

Defects - Refer to the photos below.

Recommendations:

Recommended that security stays are installed on any second story opening windows with a sill height lower than 900mm to reduce fall hazard.



Photo 46

Example of aluminium joinery with timber reveals.



Photo 47

Bedroom one bi-fold window is scraping along the top. Recommend adjusting the lower hinge to suit.



Photo 48

Damage to the window handle on bedroom one bi-fold.



Photo 49

Recommend installing security stays to the second floor joinery.



Photo 50

Example of aluminium joinery detail. Metal head flashing and PVC scribes.

NON-STRUCTURAL SYSTEMS

The following is a summary of the non-structural systems in the dwelling:

System	Type
Driveway	Concrete
Boundary Fences	Timber
Paths	Concrete pavers and shingle
Retaining Walls	Timber
Deck	Timber
Patio	Concrete
Verandah/Porch	Verandah
Drainage	Gully-traps, stormwater risers, sumps
Heating.Cooling.Ventilation	Heat pump and solid fuel burner
Services	Services

Driveway

Plain concrete.

Saw cuts - Yes.

Cracking - Areas of cracking visible.

Recommendations:

General upkeep and maintenance of driveway by cleaning and keeping free of debris.



Photo 51

Concrete driveway with visible cracking.



Photo 52

Shingle parking area on the south side of the property.

Boundary Fences

Unpainted timber palings fixed to timber rails with timber posts.

Condition of cladding - No visible issues.

Alignment - No visible issues.

Post and rail condition - No visible issues.

Average height - 1.8m.

Recommendations:

General upkeep and maintenance, keep vegetation and soils clear of timbers as these timbers are only exterior treated and will rot if vegetation or soils are up against them.



Photo 53

Timber paling fence located on the northern boundary.



Photo 54

Timber paling fence located on top of a timber retaining wall on the western boundary. Some of this fence could not be inspected due to vegetation.

Paths

Concrete pavers and shingle formed paths with timber edging.

Recommendations:

General upkeep and maintenance.



Photo 55

Concrete paver path running along the top of the dry stone wall on the east side of the house.



Photo 56

Uneven, concrete paver path located along the west side of the house.



Photo 57

Concrete paver path running along the west side of the house off the west deck.

Retaining Walls

Retaining walls

Type - Timber. and Stone - Dry stacked.
Height of retaining wall - 400mm - 1000mm.
Rotation - No signs of.
Moisture - None visible at time of inspection.
Damage - No.



Photo 58

Timber retaining wall around the driveway on the east side.



Photo 59

Dry stone wall located along the driveway on the east side of the house.



Photo 60

Timber retaining wall located on the western boundary. Most of this retaining wall could not be inspected due to vegetation.



Photo 61

Timber retaining wall located on the west side of the house. Recommend installing sufficient posts to the lower end.

Deck

Timber deck over timber substrate with nail fixings.

Connected to dwelling - Yes.

Condition of visible timbers - Some deterioration visible.

Balustrade - Secure at the time of inspection.

Height of Balustrade - Over the recommended height of 1.0 metres for residential properties.

Defects - Refer to photos.

Recommendations:

Recommend painting/sealing the decking timbers.

Trim back the decking from the wall cladding, the decking should be a minimum of 12mm off the wall cladding to prevent water pooling against the cladding and deteriorating the building elements.



Photo 62

Timber deck and stairs with aluminium and glass balustrade off the front entrance on the east side of the house.



Photo 63

Timber stairs with timber and metal handrails leading to the east deck.



Photo 64

Timber deck and stairs with aluminium and glass balustrade located on the north side of the house.



Photo 65

Covered timber deck with polycarbonate roofing off the laundry on the west side of the house.



Photo 66

Covered timber deck located on the west side of the house.



Photo 67

Aluminium and glass balustrade with timber posts.



Photo 68

Lifted timber paling under the eastern balustrade. Recommend re-fixing.



Photo 69

Visible weather damage to exposed timber under the balustrade.



Photo 70

Visible rust in the strap bracket on top of the timber posts.



Photo 71

Timber framed decks are packed off the dwelling.



Photo 72

Minimal clearance between the cladding and deck junctions. Recommend trimming back.

Patio

Concrete patio.

Recommendations:

General upkeep and maintenance.



Photo 73

Concrete patio area located between two garden planters on the west side of the house.

Verandah/Porch

Timber framed verandah.

Recommendations:

General upkeep and maintenance.



Photo 74

Timber verandah over the eastern deck.

Drainage

Gully traps and drains. Refer to photos below showing visible issues.

Recommendations:

Keep vegetation and soils clear of drainage.



Photo 75

Stormwater grate located outside the garage on the south side of the house. Recommend clearing the vegetation.



Photo 76

Gully trap located on the north side of the house.

Heating.Cooling.Ventilation

Heat pump - Power connected at the time of inspection, full operation not tested.

Manufacturer - Fujitsu.

Location - Living room.

Kilowatt rating - Heating - 8kw Cooling - 7.1kw.

Solid fuel burner.

Brand - Kent.

Location - Living room.

Recommendations:

Service as per manufacturer's recommendations. Clean heat pump filters every 4 - 12 weeks depending on the placement of the unit.

It is recommended to have the wood burner flue cleaned and checked annually.



Photo 77

Outdoor heat pump unit located on the east side under the deck.



Photo 78

Logaire woodburner located in the living room.



Photo 79

Fujitsu Inverter wall heatpump located in the living room.

Services

Services/systems tested.

Fire warning & control systems - Tested not operational

Heating systems - Powered on only.

Central vacuum systems - Not applicable.

Ventilation systems - Not applicable.

Security systems - Tested - No.

Security cameras - Not applicable.

Electricity services - Tested - Yes.

Gas services - Not applicable.

Gas bottle storage - Not applicable.

Water services - Tested - Yes.

Hot water services - Tested - Yes.

Foul water services - Tested - Yes.

Grey water recycling system - Not applicable.

Rainwater recycling system - Not applicable.

Solar heating - Tested - Yes.

Solar power/panels - Tested - No.

Aerials & antennae - Tested - No.

Shading systems - Not applicable.

Telecommunications - Tested - No.

Lifts - Disabled access - Not applicable.

Water pump - Not applicable.

Storm-water soak pits - Not applicable.

Distribution board - Tested - No.

Header tank - Not applicable.

Communications hub - Not applicable.

Automatic garage door opener - Tested - Yes.

Ceiling fan - Tested - Yes.

Electrical

Electrical sockets - All accessible sockets and light switches throughout the house were tested at the time of the inspection - All sockets and light switches tested were operational.

Distribution board location - Laundry.

Earth stake - Location - On the West side of the dwelling.

Metre box - Location - On the North side of the dwelling.

Electrical connection - Underground supply.

Water heating

Type - Solar water heating.

Capacity - Unknown.

Approximate age - Unknown.

Seismic bracing - Not applicable.
Area serviced - Entire house.
Any visible defects - None visible.

Water source - Town supply.

Sewerage Disposal - Council sewer.

Recommendations:

All services should be tested and maintained by certified professionals to the manufacturer's specifications.

It is recommended to install smoke detectors within 3 metres of any sleeping space and a minimum of one per level/story.

All new smoke alarms must:

- be photoelectric
- have a battery life of at least eight years, or be hard-wired
- installed according to the manufacturer's instructions
- meet international standards.

Safety covers can be the barrier that restricts access to a small heated pool, such as a spa pool, where:

- the water surface area is 5m² or less
- the side walls of the pool are at least 760mm high above the adjacent floor
- the side walls cannot be easily climbed.

A safety cover must have signage indicating its child safety features, and must be able to:

- restrict entry of children under five years of age when closed
- withstand a foreseeable load
- be readily returned to the closed position.



Photo 80

Subfloor hatches located on the east side of the house under the deck.



Photo 81

Metre box located on the north side of the house.



Photo 82

Covered Spa pool area located off the west deck.



Photo 83

Water tank located on the south side of the house.



Photo 84

Earth peg located on the west side of the house.



Photo 85

Ceiling fan located in the rumpus room.



Photo 86

Roof access located on either side of the rumpus room.



Photo 87

Distribution board located in the laundry.



Photo 88

Solar control panel located in the laundry.



Photo 89

Security alarm panel located in the front entrance hallway. Currently not a use.



Photo 90

Security alarm sensor located in the hallway.



Photo 91

Smoke alarms located in the hallway and rumpus room.



Photo 92

Solar Hotwater system located on the north facing roof.



Photo 93

Example of electrical sockets tested throughout the dwelling.

CONCLUSION

The data and statistical information presented in this report were gathered from reliable, commonly utilized industry sources for survey purposes. While we have made every effort to ensure the accuracy of the information, in many cases, we cannot directly verify the information at its source and therefore cannot guarantee its accuracy.

We recommend checking the records of the local territorial authority to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

The age of the buildings was taken into consideration when the inspection and reporting was carried out. The survey of the condition of the building elements and components was carried out on the basis of 'the expected condition of the materials' considering their use, location and age.

It is important to carry out regular maintenance on a dwelling to identify and rectify minor problems before they become major, and to maintain weathertightness.

Generally, the interior of the house appears in a tidy condition. No immediate repairs are required, and any necessary repairs can be carried out as part of normal maintenance. Minor scuffs, marks and small areas of damage are evident which are to be expected and can be attended to as part of normal maintenance.

It's important when carrying out maintenance or renovations to use licensed practitioners, where required. Hiring licensed builders, electricians, plumbers, gas fitters and drain layer helps make sure the work is done correctly, adheres to safety standards, and meets legal requirements. The use of unlicensed tradespersons may impact your insurance coverage and could ultimately result in higher costs if the work needs fixing later.

There are areas as noted within the report where maintenance is recommended.

The floor levels in our opinion are at acceptable tolerances. There are indications of undulations and minor slopes at random locations.

The dwelling is structurally sound and fit for purpose.