



PROPERTY FILE FOR 94 CEMETERY RD

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GIS Maps Print



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Monday, March 29, 2021



Scale: 1:4,196
Projection: NZGD2000 / NZTM 2000

Original Sheet Size 210x297mm

You are on our old website. View [our new website](#).

Rates Record Details

This page contains details of the rates record you have selected from the search results and general property information.

Updated: 30/11/2020 11:38 a.m.

To return to the list of search results, press 'Back'.

Legal Description(s): LOT 1 DP 160697 BLK XV PURUA SD-SUBJ TO EASES

[Back](#)

General Property Information

Assessment Number:	WDC0035024710
Property ID:	32153
Address:	94 Cemetery Road Whangarei
Land Area:	0.4146
Capital Value:	\$860000.00
Land Value:	\$345000.00

The rates information provided below is based on rating values as at 1 August 2018.

These figures are the gross rates applied to the property and may not take into account any current applicable remissions.

If no rates breakdown appears on this property/document, it is assumed that it is a new property created by a subdivision and rates will apply from the following rating year. Where properties have been subdivided since 1 July, the rates details displayed may not apply to the new subdivided portion. If you are unsure call us on freephone 0800 WDC INFO (0800 932 463) or (09) 430 4200.

Information about the Northland Regional Council (NRC) rates for Whangarei District ratepayers can be found on their website.

[Northland Regional Council Rates](#) (opens in a new window)

You can view details about properties on our GIS Maps website.

[GIS Maps](#)

Rates Breakdown (up to 30 June 2021)

Description	Amount
General Residential - Lifestyle	\$829.86
Uniform Annual General Charge	\$486.00
District-wide Refuse Management	\$191.00
NRC - Regional Civil Defence & Hazard Management	\$21.44
NRC - Regional Emergency Services Rate	\$11.71
NRC - Regional Council Services	\$120.20
NRC - Regional Flood Infrastructure	\$27.05
NRC - Regional Fresh Water Management	\$67.83
NRC - Regional Infrastructure	\$8.28
NRC - Regional Land Management	\$31.53
NRC - Regional Pest Management	\$60.11
NRC - Regional Sporting Facilities	\$16.76
NRC - Regional Transport Rate	\$23.20
	WDC :\$1506.86
	NRC :\$388.11
	Total \$1894.97



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier NA96C/494
Land Registration District North Auckland
Date Issued 09 August 1994

Prior References
NA11C/526

Estate Fee Simple
Area 4146 square metres more or less
Legal Description Lot 1 Deposited Plan 160697

Registered Owners

Jacqueline Isobel Gannaway and Andrew Paul Gannaway as to a 29/39 share
Esther Miriam Gannaway as to a 10/39 share

Interests

Appurtenant hereto is a water right specified in Easement Certificate A217266
Subject to a water and electricity right over part marked B on DP 160697 specified in Easement Certificate B544123.3
Subject to a right of way over parts marked A, B and C and a right to transmit electricity over parts marked A, B, C and D on DP 160697 specified in Easement Certificate C638906.3 - 9.8.1994 at 2.46 pm
The easements specified in Easement Certificate C638906.3 are subject to Section 243 (a) Resource Management Act 1991
Subject to a right to transmit telecommunications over parts marked A, B, C and D on DP 160697 created by Transfer C823038.2 - 16.3.1995 at 2.54 pm
10873957.3 Mortgage to Bank of New Zealand - 21.8.2017 at 3:39 pm



RECEIVED
19 SEP 1994
WHANGAREI DISTRICT COUNCIL

7463

APPLICATION FOR BUILDING CONSENT
(Section 33, Building Act 1991)

PART A : GENERAL

(To be completed in all cases, ticking each box as appropriate.
The applicant must be the owner of the land, or the leaseholder, or a person who has agreed either conditionally or unconditionally agreed to purchase the land or any leasehold.)

APPLICATION TYPE

- 1. Building Consent only (Project Information Memorandum No. _____)
- 2. Both Building Consent and a Project Information Memorandum. 3694

APPLICANT

Name GRAEME BIRD
 Mailing PO Box 10157
 Address TE MAI
 Contact _____
 Phone No. 4300690 Fax _____

AGENT

Name LEE JOANSTONE
 Mailing Box 54 WHG.
 Address _____
 Contact _____
 Phone No. 4387211 Fax _____

SITE

Street/Road No 96
 Street/Road Name CEMETERY RD.
 Town or Area MAUNGA

LEGAL DESCRIPTION

Valuation Roll No. 00350/247.01
 Lot 2 DP 57444

FULL DESCRIPTION AND INTENDED USE OF THE PROJECT

BRECT NEW DWELLING AND DOMESTIC GARAGE

SIZE OF PROJECT

(Required for the Department of Statistics)

Floor Area 212.5 m² No of Dwelling Units 1
 No of Storeys 1 Units 1

ESTIMATED VALUE OF PROJECT

Include plumbing and drainage \$ 160,000

INTENDED PROJECT LIFE

- 1. Not less than 50 years
- 2. Under 50 years, specified as _____ years.

STAGED PROJECT

- 1. No
- 2. Yes, stage _____ of an intended _____

NATURE OF CONSENT

(Required for the Department of Statistics)

- 1. New building - exclude domestic garages and domestic outbuildings.
- 2. Foundations only.
- 3. Alterations, repairs, extensions, conversions, resiting, installation of heating appliances and plumbing and drainage only.
- 4. Other new construction and demolition.
- 5. Domestic garages and domestic outbuildings.

OFFICE USE ONLY

Property I.D. 06477
 Classified Use HOUS.

7463
WHANGAREI DISTRICT COUNCIL

FORUM NORTH • PRIVATE BAG 9023, WHANGAREI NEW ZEALAND. TELEPHONE: 09-438 4879. FAX: 09-438 7632



In reply please quote: **P06477**

Or ask for: **Building Control**

BUILDING CONSENT NO 7463
(Section 35, Building Act 1991)

Project Information Memorandum No: 3694

Application Received: 19 September 1994

Applicant Name: **G Bird**
Mailing Address: **PO Box 10157, Te Mai, Whangarei**

Site Address: **96 Cemetery Road**

Legal Description: **Lot 2 DP 57444**

Intended Project Use: **New Dwelling & Garage**

Project Type: **New Building**

Intended Project Life: **50 years**

Staged Project: **No**

Estimated Project Value: **\$160,000**

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

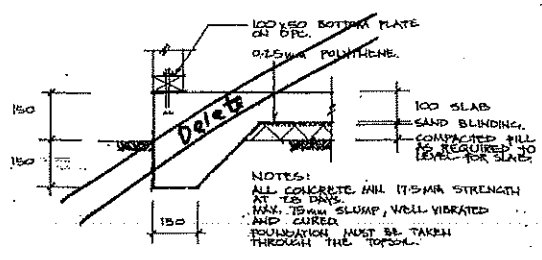
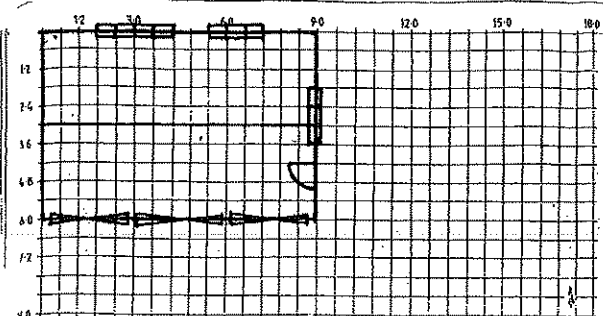
Signed for and on behalf of the Whangarei District Council:

Name: R W G Bennett

Signature: 

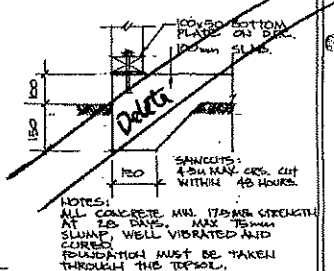
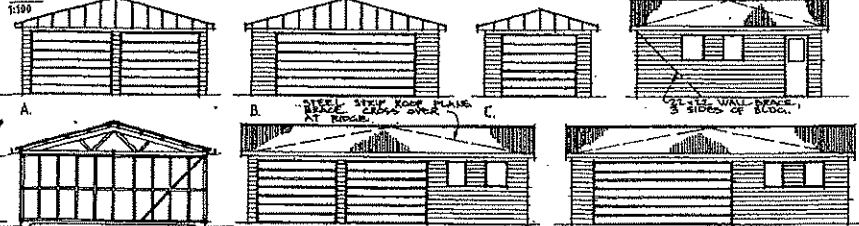
Date: 28 / 9 / 94

VAS:0188540



CONCRETE FOOTING - DETAIL 1
- 1:10

PLAN
1:100



CONCRETE FOOTING - DETAIL 2
- 1:10

Footing detail as per attached sheet.

4
06/17

FOUNDATIONS Concrete floor 175MPa 100mm thick;
Footings as detailed.
TIE BOWS 2-3-55 galv wire or 10mm dia x 160 galv bolts cast-in or 012098 Dymabatts at max 1200 crs.
JAMBOURSE 2 Ply BRC under all plates.
FRAMING All timber boie treated machine glued radiata. All framing is braced in studs checked into plates & orange checked into studs, all studs at 400 crs. Max height of 3.0m - 100x50, 3.6m - 150x50.
SIDE ENTRY OPENING LINTELS
Max span 2-2 150x100 lintel
Max span 3-0 200x130 lintel
Max span 4-5 300x300 lintel
Max span 4-8 300x100 lintel
Trusses hinged to lintel with 9L4.7 lumberlok joint hanger
DOORS Side door timber framed-steel clad each side. Over doors 0.4mm metal panel on overhead garage door gap or roller doors.

SPECIFICATION
1:100
DOOR BEAMS Gable overdoor openings have standard truss lintel see under Roof trusses.
WALL BRACES Steel angle brace 22x22 cut into plates & studs, as NZS 3604.
ROOF TRUSSES Design cert. CH 3083. All trusses at 15° unless specified otherwise. Max. spacing 1800crs at 0.0 kPa snow load. Up to 6.0m span from 100x50 on edge. Over 6.0m span 200x50 on edge.
TRUSS STIFFENER 100x50 on edge at max 900crs.
PURLINS 100x50 on flat over top plate at each corner. Applies to buildings up to 5.4 x 5.4, then strap bracing is used.
BRAGONS/TIES 0.4mm steel lagron RB-Roof, 0.4mm steel rcha capping.
ROOFING 0.55mm gutters 250 wide each side of garage, colorsteel.
SPROUTING
EXTERIOR CLADDING Profile Colorsteel Superclad 300'

built by: DAVE HAYFORD BUILDERS
R. D. S. WHANGAREI
PH (28887)

built for: MR. C. BIRD
Maunui

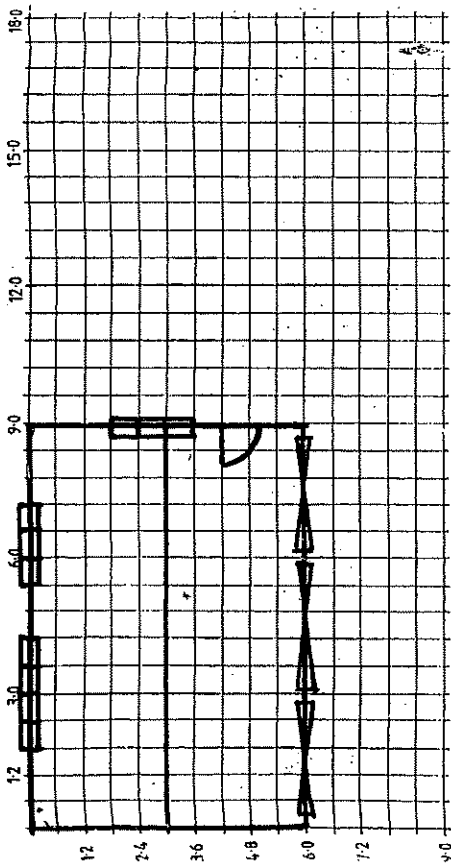
content: PROPOSED GARAGE

scale: 1:100 3/2
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file:

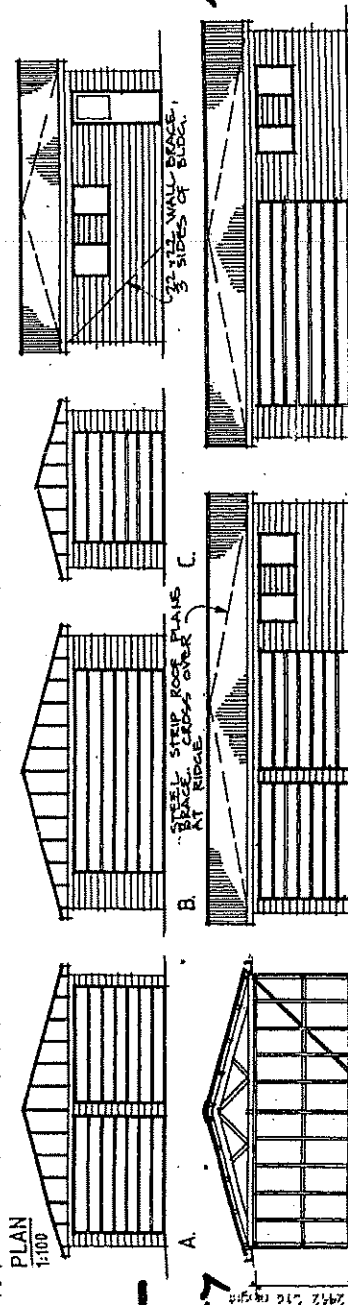
VERSATILE GARAGES LTD
THIS DRAWING IS COPYRIGHT

MICROBOX

NT MANAGEMENT CO (A/NZ) LTD HAMILTON



PLAN
1:100



ELEVATIONS 1:100

SPECIFICATION

- FOUNDATIONS** Concrete floor 17.5 MPa 100mm thick;
- TIE DOWNS** 2-3-55 galv.wire or 10mm dia x 160 galv bolts cast-in or D12098 Dynabolts at max 1200 c/s.
- JAMB/COURSE** 2 Ply D.P.C. under all plates.
- FRAMING** All timber boric treated machine gauged radiata. All framing is housed, ie studs checked into plates & dwangs checked into studs all studs at 600 c/s. Max height of 3.0m - 100x50, 3.6m - 150x50.
- SIDE ENTRY OPENING LINTELS**
 - Max span 2-2 150x100 lintel
 - Max span 3-0 200x100 lintel
 - Max span 4-5 300x100 lintel
 - Max span 4-8 300x100 lintel
- Trusses built to lintel with 94x47 lumberlok joint hanger
- DOORS** Side door timber framed-steel clad each side. Over doors 0-6mm metal panel on overhead garage door gear or roller doors.

DOOR BEAMS

Gable overdoor openings have standard truss lintel see under Roof trusses.

WALL BRACES

Steel angle brace 22x22 cut into plates & studs as NZS 3604.

ROOF TRUSSES

Design cert. CH 3083. All trusses at 15° unless specified otherwise. Max. spacing 1800 c/s at 0.6 kPa snow load.

TRUSS STIFFENER

Up to 6.0m span 170x50 on edge

PURLINS

100x50 on edge at max 900 c/s

DRAGON TIES

100x50 on flat over top plate at each corner. Applies to buildings up to 5.4 x 5.4, then strap bracing is used.

ROOFING

0-6mm steel longrun Rib Roof, 0-4mm steel ridge capping.

SPOUTING

0-55mm gutters 250 wide each side of garage, color steel.

EXTERIOR CLADDING

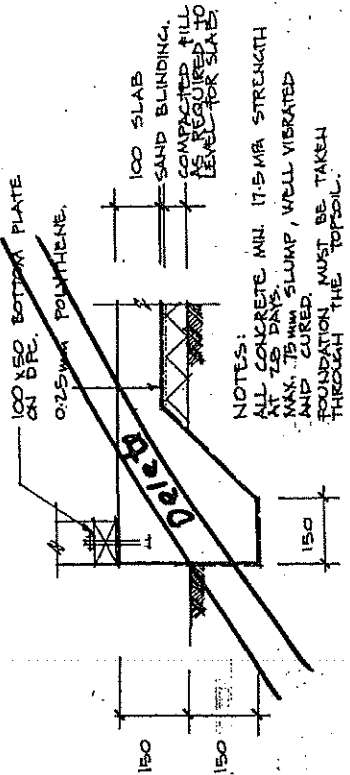
Profile Colorsteel Superclad 300'

built by:

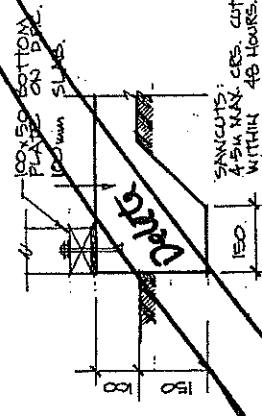
DAVE HARTFORD BUILDERS
R. D. S. WHAGABEL.
Mauna.
PH 4388871

built for:

PROPOSED GARAGE



CONCRETE FOOTING - DETAIL 1
1:10



CONCRETE FOOTING - DETAIL 2
1:10

Footing detail as per attached sheet.

scale: 1:100 1:3
date:
file:
VERSATILE GARAGES LTD
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