



LIM REPORT

Statement of passing over information

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LAND INFORMATION MEMORANDUM NO: LM2101432

Received: 28 Oct 2021

Issued: 09 Nov 2021

**Section 44A, Local Government Official Information
And Meetings Act 1987**

APPLICANT

Harcourts - Paul Sumich
33-35 Robert Street
Whangarei 0110

SITE INFORMATION

Property ID: 115535
Street Address: 64 Crossett Road
Whangarei 0176
Legal Description: LOT 1 DP 360333

This is a Land Information Memorandum only.

Full payment has been made for this Land Information Memorandum.

1: PROPERTY DETAILS.

- Location Map.
- Aerial Photo.
- Deposited Plan: DP 360333 - Deposited - 10 January 2006
- Record of Title: 245363 - Issued - 10 January 2006

This property is subject to a Consent Notice, information attached.

- 6520327.2 - Dated - 09 June 2005

2: INFORMATION IDENTIFYING EACH (IF ANY) SPECIAL FEATURE OR CHARACTERISTIC OF THE LAND CONCERNED, INCLUDING BUT NOT LIMITED TO POTENTIAL EROSION, AVULSION, FALLING DEBRIS, SUBSIDENCE, SLIPPAGE, ALLUVION, OR INUNDATION, OR LIKELY PRESENCE OF HAZARDOUS CONTAMINANTS, BEING A FEATURE OR CHARACTERISTIC THAT IS KNOWN TO THE WHANGAREI DISTRICT COUNCIL.

No information concerning special features or characteristics affecting the land has been identified.

Regional Policy Statement

The Regional Policy Statement's role is to promote sustainable management of Northland's natural and physical resources. It does this by:

- Providing an overview of the region's resource management issues; and
- Setting out policies and methods to achieve integrated management of Northland's natural and physical resources.

Refer

<https://www.nrc.govt.nz/resource-library-summary/plans-and-policies/regional-policy-statement>

3: INFORMATION ON COUNCIL AND PRIVATE UTILITY (SEWERAGE, WATER & STORMWATER) SERVICES.

No Whangarei District Council services available in this area.

Service Sheet (e.g. As-Built, House Connection, House Drainage etc...) for this property from the building file is attached.

- As-Built Plan from BC0586014

4: INFORMATION RELATING TO VALUATION, LAND, AND WATER RATES. INFORMATION FROM WHANGAREI DISTRICT COUNCIL RECORDS.

Information on Valuation, Rates and Water Meter location (if applicable) for the current financial year, is attached.

5: INFORMATION CONCERNING ANY PERMIT, CONSENT, CERTIFICATE, NOTICE ORDER, OR REQUISITION AFFECTING THE LAND OR ANY BUILDING ON THE LAND PREVIOUSLY ISSUED BY THE WHANGAREI DISTRICT COUNCIL OR BUILDING CERTIFIER (WHETHER UNDER THE BUILDING ACT 1991 AND/OR 2004 OR ANY OTHER ACT).

Copy of Building Consents and Code Compliance Certificates issued for this property are attached.

- BC0586014 - New Dwelling with Attached Garage - Issued - 26 October 2005
- Code Compliance Certificate – Issued – 11 May 2006
- BC0901369 - New Shed - Issued - 22 December 2019
- Code Compliance Certificate – Issued - 23 March 2010

Stormwater attenuation may be required on this property for new building work that results in an increase of > 30m² in impervious area including paving, driveways etc.

For the Stormwater Attenuation guidance notes refer

<https://www.wdc.govt.nz/Services/Water-services/Stormwater/Stormwater-flood-management>

6: INFORMATION RELATING TO THE USE TO WHICH THE LAND MAY BE PUT AND ANY CONDITIONS ATTACHED TO THAT USE.

ENVIRONMENT:

Rural Production Environment, see map attached and refer to Part G Environments.

<https://www.wdc.govt.nz/Services/Property/Planning/Operative-District-Plan>

Please note that this property is subject to Councils Decision - District Plan Environment, see map attached.

- Rural Production Zone

For further information please contact the Policy Planner, 09 430 4200.

7: INFORMATION WHICH IN TERMS OF ANY OTHER ACT HAS BEEN NOTIFIED TO THE WHANGAREI DISTRICT COUNCIL BY ANY STATUTORY ORGANISATION HAVING THE POWER TO CLASSIFY LAND OR BUILDINGS FOR ANY PURPOSE.

Whangarei District Council is not aware of any classification attached to the land or building/s.

8: OTHER INFORMATION CONCERNING THE LAND AS WHANGAREI DISTRICT COUNCIL CONSIDERS, AT COUNCILS DISCRETION, TO BE RELEVANT.

Whangarei District Council recommends that all Whangarei District residents visit the Northland Regional Council website, <https://www.nrc.govt.nz/> for information on Civil Defence hazard response. This information includes Tsunami evacuation zones, maps and community response plans for flooding and extreme weather events etc.

Copies of site plan, floor plan and elevations are attached for your information.

9: INFORMATION RELATING TO ANY UTILITY SERVICE OTHER THAN COUNCILS SUCH AS TELEPHONE, ELECTRICITY, GAS AND REGIONAL COUNCIL WILL NEED TO BE OBTAINED FROM THE RELEVANT UTILITY OPERATOR.

Further information may be available from other authorities; Northland Regional Council; Northpower; Spark; Vector Limited; etc.

DISCLAIMER

Land Information Memoranda (LIM) are prepared under the provisions of Section 44A of the Local Government Official Information and Meetings Act 1987. An inspection of the land or building(s) has not been completed for the purposes of preparing the LIM. It has been compiled from the records held by Whangarei District Council. The information contained in the LIM is correct at the date the LIM report is issued.

A LIM is prepared for the use of the Applicant and may not be able to be relied on by other parties.

Advice from an independent professional such as a lawyer or property advisor should be sought regarding the contents of this LIM and the information contained herewith.

Additional information regarding the land or buildings (such as resource consents and other permissions and restrictions), which is not contained in this LIM, may also be held by the Northland Regional Council. The Northland Regional Council should be contacted for that information. Ph (09)4701200 or 0800 002 004 or www.nrc.govt.nz

A LIM is not a suitable search of Council's records for the purposes of the National Environmental Standards (NES) for soil contamination of a potentially contaminated site.

Signed for and on behalf of Council:



Jane Cutang
Property Assessment Officer

Aerial Photography



Tuesday, November 9, 2021

Scale: 1:5,000



This map was last updated in 2018. It includes New Zealand's most current publicly owned aerial imagery and is sourced from the LINZ Data Service.

The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed. Cadastral Information has been derived from Land Information New Zealand's (LINZ) Core Record System Database (CRS). CROWN COPYRIGHT RESERVED. © Copyright Whangarei District Council.



Digital Title Plan - DP 360333

Survey Number DP 360333
Surveyor Reference CROSSETT 54
Surveyor Shane Michael Stratton
Survey Firm Stratton Bentley Surveyors Ltd (Kamo)
Surveyor Declaration I Shane Michael Stratton, being a person entitled to practise as a licensed cadastral surveyor, certify that -
(a) The surveys to which this dataset relates are accurate, and were undertaken by me or under my direction in accordance with the Cadastral Survey Act 2002 and the Surveyor-General's Rules for Cadastral Survey 2002/2;
(b) This dataset is accurate, and has been created in accordance with that Act and those Rules.
Declared on 04/11/2005.

Survey Details

Dataset Description LOTS 1 AND 2 BEING A SUBDIVISION OF LOTS 7 AND 8 DP 349182
Status Deposited
Land District North Auckland
Submitted Date 04/11/2005
Survey Class Class III Cadastral Survey
Survey Approval Date 07/11/2005
Deposit Date 10/01/2006

Territorial Authorities

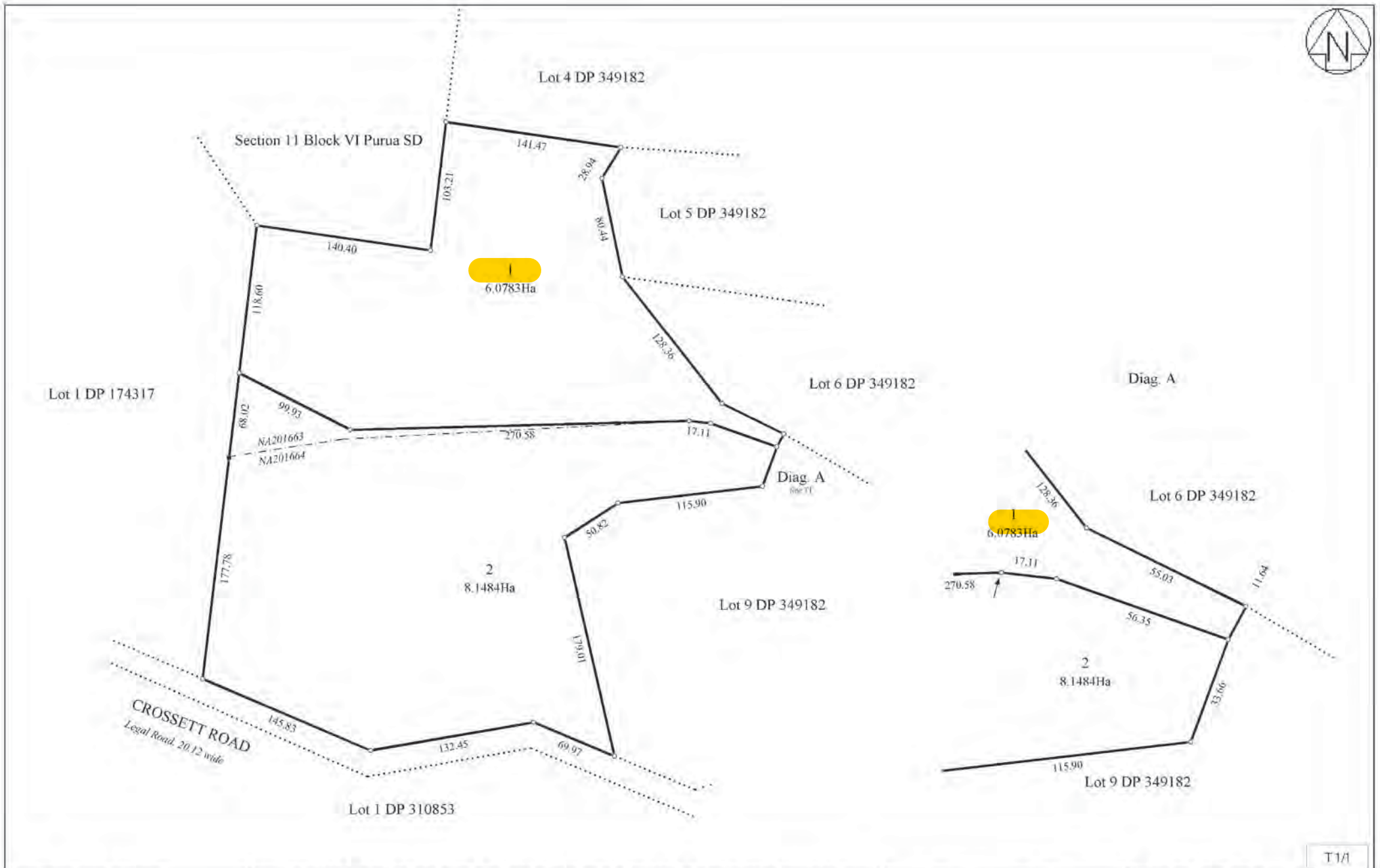
Whangarei District

Comprised In

CT 201663
CT 201664

Created Parcels

Parcels	Parcel Intent	Area	CT Reference
Lot 1 Deposited Plan 360333	Fee Simple Title	6.0783 ha	245363
Lot 2 Deposited Plan 360333	Fee Simple Title	8.1484 ha	245364
Total Area		14.2267 ha	



T1/1

Land District: North Auckland

LOTS 1 AND 2 BEING A SUBDIVISION OF LOTS 7 AND 8 DP 349182

Surveyor: Shane Michael Stratton
Firm: Stratton Bentley Surveyors Ltd (Kero)

Digital Title Plan
DP 360333

Digitally Generated Plan
Generated on: 27/01/2006 08:14am Page 2 of 2

Deposited on: 10/01/2006



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **245363**
Land Registration District **North Auckland**
Date Issued 10 January 2006

Prior References
201663

Estate Fee Simple
Area 6.0783 hectares more or less
Legal Description Lot 1 Deposited Plan 360333

Registered Owners
Paul Anthony Teahon and Joanne Green

Interests

6520327.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 3.8.2005 at 9:00 am

Appurtenant hereto are right of way, right to transmit electricity, telecommunications & computer media easements created by Easement Instrument 6520327.4 - 3.8.2005 at 9:00 am

The easements created by Easement Instrument 6520327.4 are subject to Section 243 (a) Resource Management Act 1991 11453788.3 Mortgage to ASB Bank Limited - 14.6.2019 at 10:51 am

IN THE MATTER of the Resource Management Act 1991
("the Act")

A N D

IN THE MATTER of a subdivision consent as evidenced by
Land Transfer Plan No. 349182

A N D

IN THE MATTER of a Consent Notice issued pursuant to
Section 221 of the Act by THE
WHANGAREI DISTRICT COUNCIL
("the Council")

CONO 6520327.2 Cons

Cpy - 01/01, Pgs - 002, 03/08/06, 07:54



DocID: 312060724

IT IS HEREBY CERTIFIED that the following conditions to be complied with on a continuing basis were imposed by the Council as conditions of approval for the subdivision as effected by Land Transfer Plan No. 349182 ("the plan")

1. Vehicular access to lots 1 through 5 on the plan shall only be obtained from the right of way on the plan shown marked with the letter "A";
2. Vehicular access to lots 6 through 9 on the plan shall only be obtained from the right of way on the plan shown marked with the letter "B";
3. The registered proprietors for the time being of the properties being lots 8 and 9 on the plan shall be responsible to maintain that section or sections of Crossett Road that provides road access to their properties from the point where the Council's maintenance of that road terminates to the accesses servicing their properties in conjunction with such other property owners who use that portion of the road.
4. The registered proprietors for the time being of the properties being lots 8 and 9 on the plan acknowledge that the Council will not be responsible for maintenance of Crossett Road which gives access to their properties beyond the point where the Council's maintenance of the road currently terminates unless the legal road is constructed within legal road boundaries in accordance with prior approved engineering plans complying

X0502012.GJM.DOC:dy

2 CONO 52

with the applicable Council Environmental Engineering Standards and to the satisfaction of Senior Environmental Engineering Officer.

DATED at Whangarei this 9 day of June 2005

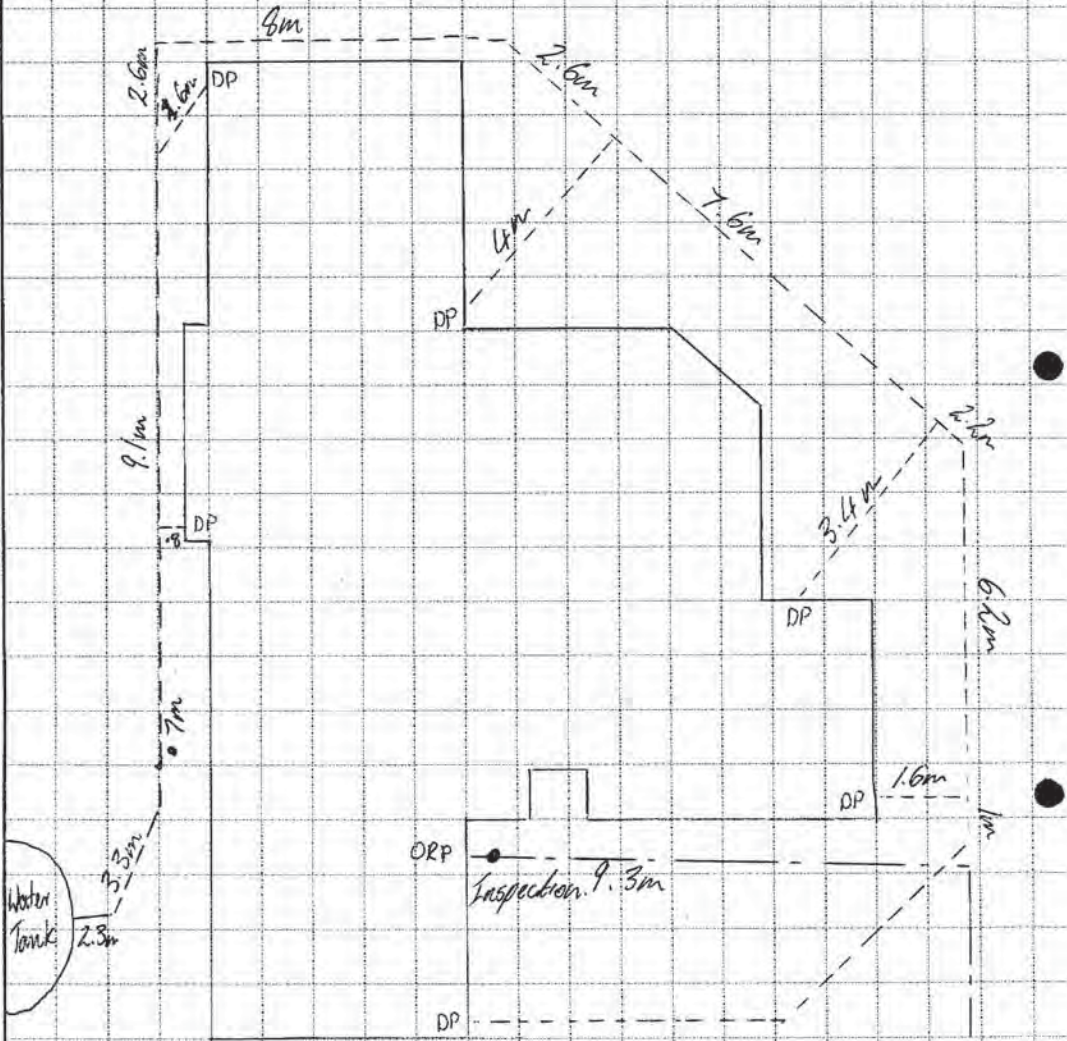
SIGNED for THE WHANGAREI DISTRICT COUNCIL
pursuant to the authority of the Council given pursuant to the
Local Government Act 2002 and the Resource Management Act
1991

A handwritten signature in black ink, consisting of stylized initials and a surname, written over a horizontal line.

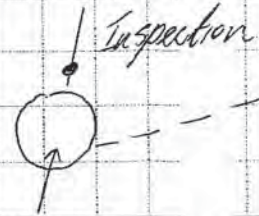
Authorised Signatory

PART C : As Built Services Plan

(To be completed in all cases. If details are already noted on separate drawings then provide copies in duplicate as appropriate)

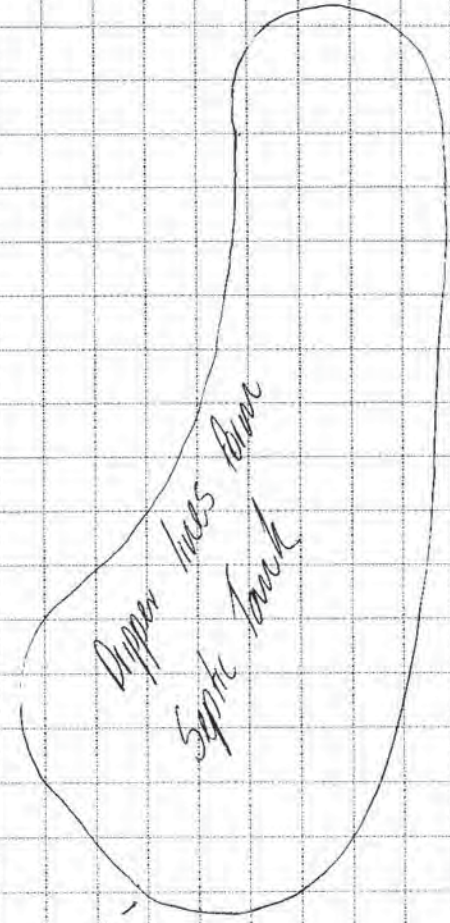


Scale: *Not to Scale* in _____
 Site Address: *Coest Rd RD6 Whangaparua*



Septic Tank

(To be completed in all cases. If details are already noted on separate drawings then provide copies in duplicate as appropriate)



25mm Alkathen pipe



Whangarei District Council
Forum North - Private Bag 9023
Whangarei New Zealand
Ph:0-9-430 4200 Fax:0-9-438 7632
Email: mailroom@wdc.govt.nz

Rates LIM Report

As at: Tuesday, 9 November, 2021

Property Number 115535
Legal Description LOT 1 DP 360333
Assessment Number 0032028204
Address 64 Crossett Road Whangarei 0176
Record of Title(s) 245363
Land Value \$270,000
Capital Value \$795,000
Date of Valuation 01-August-2018
Effective Date (used for rating purposes) 01-July-2019
Meter Location

Rates Breakdown (up to 30 June 2022)

Rates Charge	Charge Total
General Residential - Lifestyle	\$694.93
Uniform Annual General Charge	\$724.00
Regional Civil Defence & Hazard Management	\$37.88
Regional Council Services	\$132.69
Regional Economic Development	\$6.48
Regional Emergency Services Rate	\$11.84
Regional Flood Infrastructure	\$31.19
Regional Land and Fresh Water Management	\$102.47
Regional Pest Management	\$76.40
Regional Sporting Facilities	\$16.95
Regional Transport Rate	\$23.07
Annual Charge Total	\$1,857.90

Opening Balance as at 01/07/2021 **\$-188.06**

Rates Instalments	Total
20/07/2021 Instalment	\$465.90
20/10/2021 Instalment	\$464.00
20/01/2022 Instalment	\$464.00
20/04/2022 Instalment	\$464.00
Rates Total	\$1,857.90

Balance to Clear **\$1,045.77**

86014



WHANGAREI
DISTRICT COUNCIL

BUILDING CONSENT No:86014
Section 51, Building Act 2004

Issued:26Oct05
Project Information Memorandum No 86014

The Building

Street Address of building: CROSSETT RD, R D 6, WHANGAREI 0121
Legal Description of land where building is located:
LOT 7 DP 349182
LLP No 114717

The Owner

Name of owner: GARY & MELISSA LANGLEY
Mailing Address: C/- B & G DRAKE
KNIGHT RD, R D 6
WHANGAREI

Contact Person: SOVEREIGN HOMES LTD
Mailing Address: P O BOX 303-055
NORTH HARBOUR
NORTH SHORE CITY

Street address/registered office: CROSSETT RD
R D 6
WHANGAREI 0121

Building Work

The following building work is authorised by this consent:

Project: New Building

Intended Use: **NEW DWELLING WITH ATTACHED GARAGE**

*Creating the ultimate
living environment*

BUILDING CONSENT NO 86014

Forum North, Private Bag 9023
Whangarei, New Zealand
Telephone: +64 9 430 4200
Freephone: 0800 WDC INFO
0800 932 463
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

1: CONDITIONS:

- a. Engineer to inspect prepared building platform and raft floor slab prior to concrete pour and issue a Producer Statement PS 4 Construction Review.
- b. Engineer to inspect the excavated soakage trenches to confirm the soil suitability and confirm the trench length - Producer Statement P S 4 Construction Review to be provided.

2: General

No Requirements.

3: Dust Nuisance

The applicant must control dust nuisance created by any site or building works.

4: Toilet Facilities

Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.

5: Smoke Alarms

Smoke alarms are to be installed in compliance with the building code.

Compliance Schedule

A compliance schedule is not required for the building.



(C E Blakeley)

Signature

BUILDING COMPLIANCE ADMINISTRATOR

Position

On behalf of: Whangarei District Council

Date: 26 October 2005

RESOURCE CONSENTS required for:
- NONE

NEIGHBOURS CONSENTS required for:
- NONE

SITE AREA = 6.5303ha

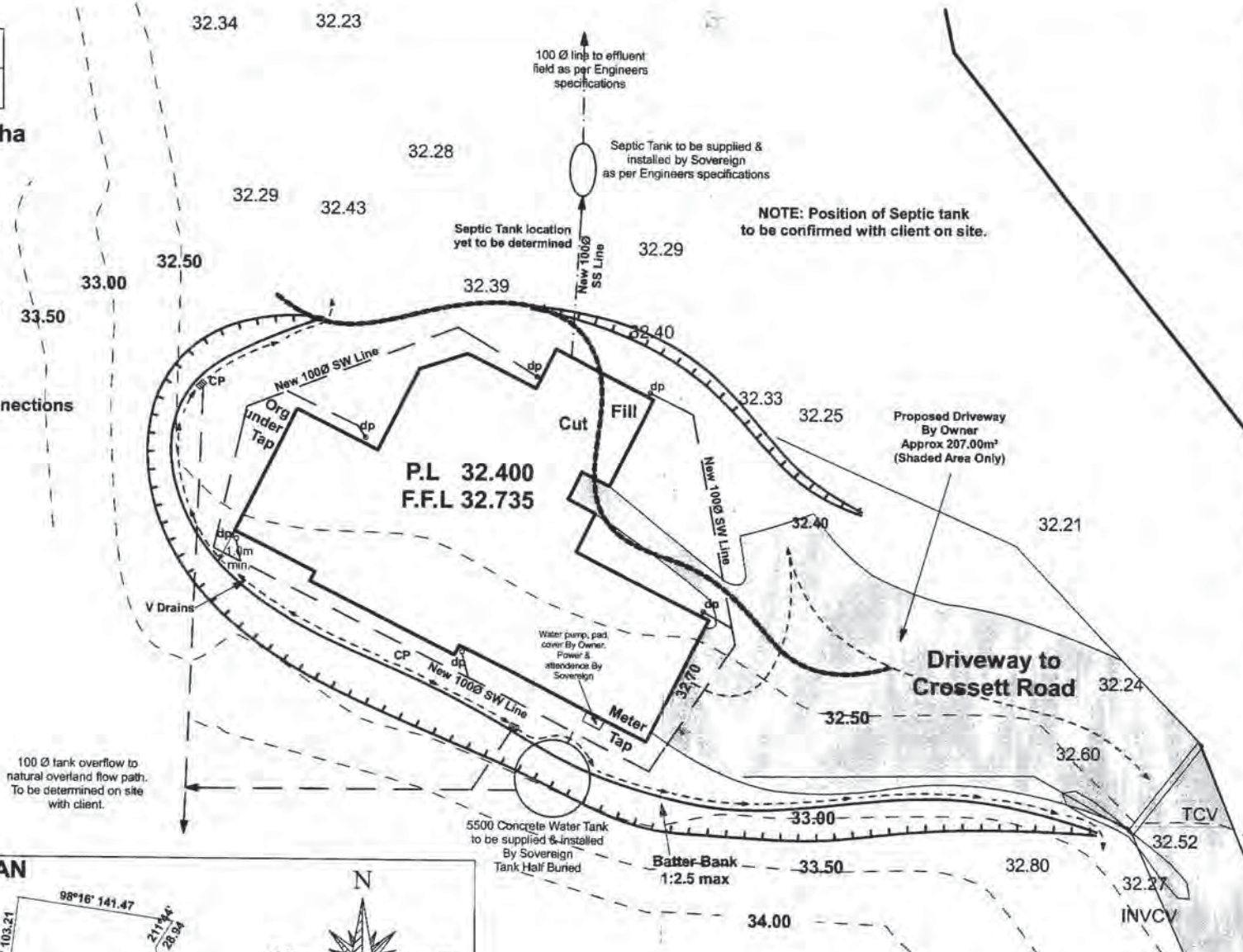
SITE COVERAGE

65,303 x 5% = 3,265.15m² max
Actual Site Coverage = 200.65m²
RESOURCE CONSENT NOT REQUIRED

EXCAVATION

NA
Actual Site Excavation = 500m² x 0.4 x 0.5 = 100m³
Driveway = 700m² x 0.3 x 0.5 = 105m³
TOTAL = 205m³
0.6m max depth of cut
0.2m max depth of fill
RESOURCE CONSENT NOT REQUIRED

NOTE: Power & phone connections yet to be determined



100 Ø link to effluent field as per Engineers specifications

Septic Tank to be supplied & installed by Sovereign as per Engineers specifications

Septic Tank location yet to be determined

NOTE: Position of Septic tank to be confirmed with client on site.

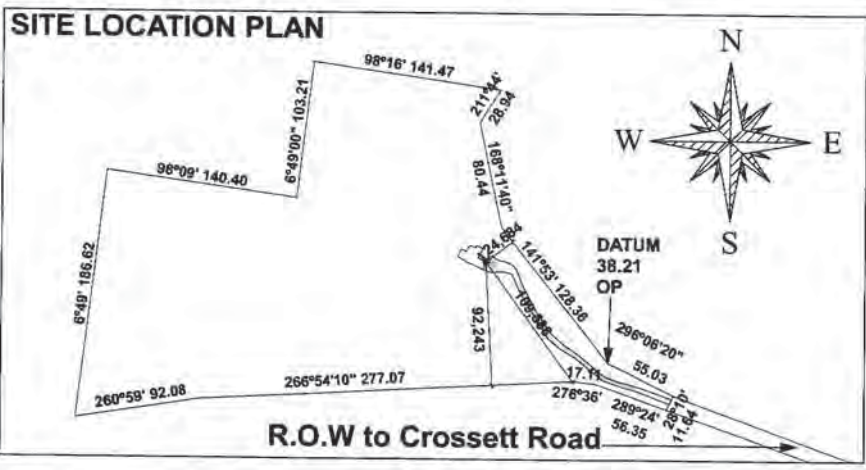
Proposed Driveway By Owner Approx 207.00m² (Shaded Area Only)

Water pump pad cover By Owner. Power & attendance By Sovereign

100 Ø tank overflow to natural overland flow path. To be determined on site with client.

5500 Concrete Water Tank to be supplied & installed By Sovereign Tank Half Buried

Batter Bank 1:2.5 max



EXCAVATED MATERIAL TO BE REUSED ON SITE.

Contour Interval is 0.50m
Levels are in terms of Local Datum

Building Platform Level may vary to make best use of the cut and fill

RECEIVED
CUSTOMER SERVICES
Langley
8 SEP 2005
Lot 7 DP 208537
WHANGAREI
CROSSSETT COUNCIL
Ruatangata

SOVEREIGN HOMES

Sovereign Homes Ltd
P O Box 303-055
North Harbour
Auckland
ph 09 479 6484
fax 09 479 6494

Just Grand 201/4

Site	
Date	July 2005
Scale	1:200
Job No	N385
Drawn	Kerim Kefali
Engineer	[Signature]

- NOTES**
- 1) ALL DIMENSIONS AND UNDERGROUND SERVICE LOCATIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK.
 - 2) DO NOT SCALE FROM DRAWINGS. IF IN DOUBT, ASK THE DESIGNER.
 - 3) CONSTRUCTION TO COMPLY WITH NZS 3604, LOCAL BODY BYLAWS AND THE NZ BUILDING CODE.
 - 4) THESE DRAWINGS ARE SUBJECT TO COPYRIGHT & REMAIN THE PROPERTY OF SOVEREIGN HOMES LTD.
 - 5) FLOOR LEVELS MAY VARY TO ALLOW FOR BEST USE OF CUT AND FILL.

PLAN CHECKS	
CLIENT 1	CONTRACT QS:
DFT:	BC DFT:
QS:	

Drawing Issue

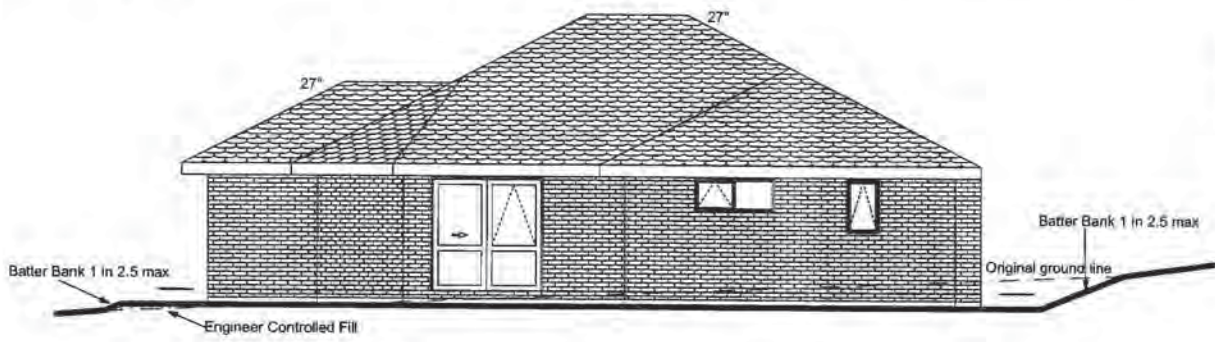
1 - 18 July 05 - Client 1
2 - 26 July 05 - Contract Issue
3 - 25 August 05 - Council Issue



ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

Building Envelope Risk Matrix

Risk Factor	Subtotal for Risk Factor
Wind Zone	2
No. of Storeys	0
Roof/Wall Intersection	0
Eaves Width	1
Envelope Complexity	0
Deck Design	0
Total Risk Score	3

Therefore Masonry Veneer OK

RECEIVED
 CUSTOMER SERVICES
 Lot 7 DP 208527
 09 SEP 2005
 Crossett Road
 DISTRICT COUNCIL
 Ruatangata

SOVEREIGN HOMES

Sovereign Homes Ltd
 P.O. Box 303-055
 North Harbour
 Auckland
 ph 09 479 6484
 fax 09 479 6494

Just Grand 201/4

Elevations

Date	July 2005
Scale	1:100
Job No	N385
Drawn	Keim Kefali
Engineer	

- NOTES**
- 1) ALL DIMENSIONS AND UNDERGROUND SERVICE LOCATIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK.
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PLAN CHECKS

CLIENT 1	CONTRACT QS:
DFT:	BC DFT:
QS:	

Drawing Issue

1 - 18 July 05 - Client 1
 2 - 26 July 05 - Contract Issue
 3 - 25 August 05 - Council Issue

APPROVED
21 SEP 2005
WHANGAREI DISTRICT COUNCIL
BUILDING CONTROL

RECEIVED
CUSTOMER SERVICES

09 SEP 2005

Whangarei
Site Office

SOVEREIGN HOMES

N385/015 : LANGLEY

GEOTECHNICAL SITE REPORT &

SOAKAGE DESIGN



27/05/2005

Duffill Watts & King Ltd

Level 1, Rathbone Centre
PO Box 481
WHANGAREI

Phone [64] (09) 438 2552
Fax [64] (09) 430 0311

dwk.whangarei@duffillwatts.com

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U:\20160 Sovereign\N385-015 Langley\N385 Langly Report. doc.doc



RECEIVED
TOMER SERVICES
3 SEP 2005

1. BRIEF

Duffill Watts & King were engaged by Sovereign Homes Limited to undertake a Geotechnical Investigation with the purpose of establishing Foundation conditions and to provide a Soakage design. This brief is detailed in an email dated 26 May 2005 sent by Debbie Powell of Sovereign Homes, Reference No. N385/015 – Langley.

This report undertakes to;

- a) Describe the soils at the site
- b) Quantify sub-soil conditions to allow selection of foundation types
- c) Investigate Soakage options and recommend a robust design
- d) Note any pertinent features that may impact on preliminary pricing of any dwelling for the site relating to observed sub-surface conditions
- e) If necessary, make recommendations regarding further investigations

The findings of this report will be used to support any building consent proposed for the dwelling proposed in the brief.

2. SITE DESCRIPTION

2.1 DESCRIPTION

The property is legally described as Lot 7 DP 208537 and is located in Crossett Road, Ruatangata, Whangarei District. The property has an area of 6.5303ha.

The proposed dwelling is a single storey brick and tile type with three/four bedrooms. The brief describes the proposed building platform as equal cut and fill with a foundation slab on a prepared platform.

2.2 TOPOGRAPHY

The site is located on a broad ridge sloping East to West. The site has already been partially prepared with hardfill placed to form the driveway. In addition, the building platform has been stripped and cleared. Adjacent land is farmland.

The site will shed rainfall well due to the fall of the natural topography and the earthworks undertaken to this stage. However there is a need for drains to be formed along the toe of the batter of the building platform. The proposed site is flat which is then gently inclined beyond the platform.

3. GEOTECHNICAL INVESTIGATIONS

3.1 GEOLOGY

The Geological Map of the area (Geological Map Sheet 2A Whangarei 1:250,000) defines the underlying Geology as Greywacke and Argillite with Chert of the Waipapa Group.

Soil Map NZMS290 Sheet Q06/07 notes the soils as Hukerenui Sandy loam with yellow subsoil which are generally imperfectly to very poorly drained.

3.2 SUB-SURFACE INVESTIGATIONS

Investigations undertaken included a walkover inspection and two, 100mm diameter hand auger boreholes drilled to depths of 1.2m. Shear vane tests were taken at various depths in each borehole. These boreholes were supplemented with Scala Penetrometer testing to assess soil strength at depth.

There appeared to be no recent ground movement on the site. The site did not appear to be subject to Creep.

The borehole logs are detailed below.

BOREHOLE A : SOUTH				
DEPTH (MM)	SOIL	SHEAR	REM	SCALA
0	Yellow CLAY with white streaks			
100	Yellow CLAY with white streaks			
300	Yellow CLAY with white streaks	221+		20mm
600	Yellow CLAY with white streaks	221+		25mm
900	Pale yellow CLAY	221+		10mm
1000	Pale yellow CLAY			10mm
1200				
2000				
2500				
2800				
WATER TABLE NOT ENCOUNTERED				

BOREHOLE B : NORTH				
DEPTH (MM)	SOIL	SHEAR	REM	SCALA
0				
300	Yellow CLAY	136	47	35mm
600	Yellow CLAY	126	63	30mm
800	White CLAY			
900	White CLAY	123	51	25mm
1200	White CLAY	205	47	15mm
1600				5mm
2000				
2300				
2500				
WATER TABLE NOT ENCOUNTERED				

3.3 SUB-SURFACE FINDINGS

The material found in both Boreholes is Clay of reasonable strength at depths greater than 0.6 m. However, the upper strata are weak, possibly due to softening from the excavation having been left exposed to the weather.

The in-situ material is Moderately Sensitive and is Expansive.

The Sub-surface conditions are detailed above and on the Bore logs attached. The observations noted in the investigations have been extrapolated between the various test locations to infer probable site conditions. It is noted that these inferences in no way guarantee the validity of these findings due to the inherent variability of natural soil deposits. The actual ground conditions discovered during excavation may vary from those developed herein.

This report utilises the New Zealand Geomechanics Society's Guidelines for the Description of Soils and Rocks dated 1988.

RECEIVED
CUSTOMER SERVICES
09 SEP 2005

Our Findings are as follows;

3.3.1 EXPANSIVENESS

The in-situ soils have been assessed as Class S Slightly Expansive in terms of AS2870. These soils have a liquid limit of 50% and a linear shrinkage of 15%. These soils can experience surface movements from moisture changes of up to 20mm.

3.3.2 FILL SUITABILITY

The sub-soils found on site have reasonable properties and should be acceptable as fill material subject to controlled filling operations and observation by a Geotechnical Engineer during filling operations.

3.3.3 SITE STABILITY

The Lot is neither subject to creep nor instability.

3.3.4 NEED FOR RETAINING STRUCTURES

The proposed building platform will not require retaining structures to provide the required building platform.

3.4 FOUNDATION OPTIONS

The soils on this site are expansive but have reasonable strength at 1.2 to 1.5m depth. A stiffened raft foundation to AS2870 would be appropriate founded on alternative foundations as discussed below.

3.4.1 HARDFILL PLATFORM

Due to the absence of Good Ground within the initial 0.6m a hardfill solution could be adopted. However it may be possible to improve the bearing with some additional compaction.

3.4.2 SPREAD FOUNDATION

Alternatively, the stiffened raft foundation could be founded on strip/spread footings to minimise applied load to no greater than an allowable bearing pressure of 80kPa.

The spread foundation option is preferred as it is likely to be the more economic of the alternatives.

4. SITE SOAKAGE

The following section has been prepared in accordance with NZS1547:2000.

4.1 SOAKAGE INVESTIGATIONS

A percolation test hole, 400 mm deep was dug in the location shown on the attached site sketch. A soil and groundwater hole was put down in the location shown on the attached site plan.

4.2 SITE ASSESSMENT

FEATURE	COMMENT
Topography	The proposed site is a flat site on the ridgeline. The proposed soakage area is on gently inclined (5 – 10 degree) slopes (refer attached plan).
Ground Cover	Pasture.

APPROVED
21 OCT 2005
DISTRICT COUNCIL
BUILDING CONTROL

RECEIVED

FEATURE	COMMENT
Geology	The Geological Map of the area (Geological Map Sheet 2A Whangarei 1:250,000) defines the underlying Geology as Greywacke and Argillite with Chert of the Waipahi Group. Soil Map NZMS290 Sheet Q06/07 notes the soils as Hukerenui Sandy loam with yellow subsoil which are generally imperfectly to very poorly drained. This indicates that the soil category is 4 – 6. The percolation test confirms that the soil is category 6.
Seasonal Ground Water Variations	The Lot is well drained. There are no indications of seasonal variations in soil drainage.
Dispersive Soils	The soils do not appear to be dispersive. There is no evidence that the soil will loose permeability with time.
Drainage Control	Surface water from developed areas and the adjacent slope should be collected by cut-off drains and discharged through 150 mm diameter Novaflow drains into the nearest watercourse around and away from effluent disposal fields.
Rock Content	No gravel, cobbles or rocks were noted in the Bore Holes undertaken.
Climate	Annual rainfall is in the order of 1400mm
Rainfall	Rainfall intensity is approximately 37 mm/hr for a storm with a 10% probability of occurring annually and of ten minutes duration.
Lot Size	The Lot is reasonably sized at approximately 6.53 ha. The proposed soakage field is more than 15m from any watercourse and in excess of 4m from any boundary.

4.3 PERCOLATION TESTING

Percolation Tests were carried out in accordance with the requirements of the Northland Regional Council's Regional Water and Soil Plan. See attached sheet for test results and recommended location.

Observation of the soil structure during the site drilling work indicates poor drainage properties.

4.4 DESIGN PARAMETERS

The Lot will be supplied by Tank Water.

For a Household of three/four bedrooms with extra waste water producing facilities (including garbage grinders, dishwashers, douches, etc) we have used a treated effluent loading rate of 880litres/day in accordance with the Whangarei District Council Engineering Standard requirement for a dwelling.

4.5 DISPOSAL SYSTEM RECOMMENDATION

For design purposes we have assumed a Design Loading Rate of 5 mm/day for the trench design and 15mm per week for an irrigated system. These rates are in accordance with NZS1547:2000 in recognition of the field test results.

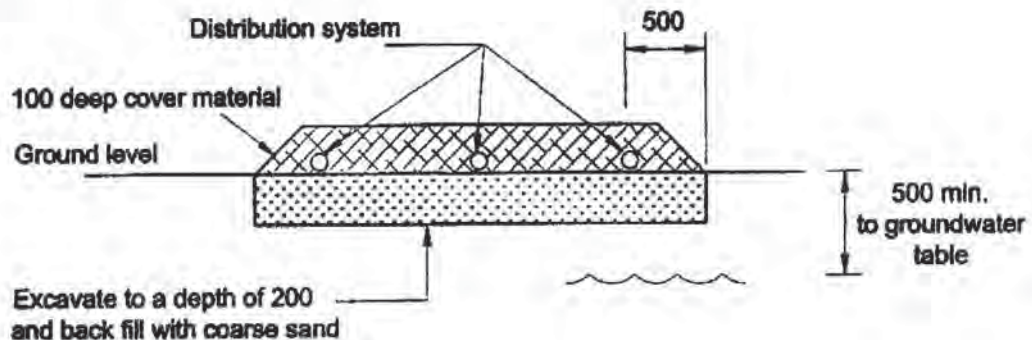
Given the site soils, topography and the area required for a trench system it would be difficult to provide sufficient reserve area in case of a trench system failure. As the

soils may be Category 6, an extension to a trench system may be possible and is readily constructed.

Accordingly we recommend that an Aerated Wastewater Treatment System (AWTS) is used with disposal to a raised bed constructed 100mm above the ground surface. This will provide the required 0.6m separation between the effluent and weather ground water level. Vegetation can be planted on the mound system to increase the efficiency of the bed, suggested species include shrubs, flaxes and grasses to provide evapotranspiration and nutrient removal.

For a flow rate of 880litres/day, 480 m² of soakage area will be required.

The bed should be constructed in accordance with the details set out on the attached sketch and sectional view below.



CLAY SOILS

We recommend systems supplied by Innoflow Technologies, Jet Waste and Water or Oasis Clearwater. The distribution system should utilise RAAM (or similar) pressure compensated dripper lines, these are supplied by the AWTS supplier.

The area designated includes a reserve area set aside for the complete disposal system. In addition the bed arrangement allows easy rejuvenation of the bed should operational difficulties be experienced.

4.6 OPERATIONAL AND MAINTENANCE PROCEDURES

The manufacturers of AWTS systems supply detailed maintenance schedules that must be adhered to. It is imperative that the operator of the system schedule and undertake maintenance of the system to ensure its effectiveness.

4.7 PRODUCER STATEMENT

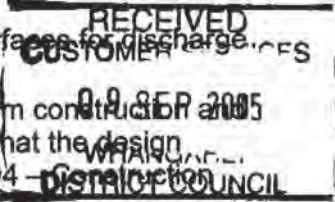
With the area available on the subject property it is our opinion that a satisfactory effluent disposal system can be installed that will satisfy all of the parameters set out in NZS1547:2000. A Producer Statement will be produced by the supplier of the system selected by the owner/developer.

5. CONCLUSIONS AND RECOMMENDATIONS

Based on the results of our investigations we make the following Conclusions and Recommendations;

- 1) The in-situ material is suitable for fill operations.
- 2) Should the dwelling be re-sited, further geotechnical investigations would be imperative.
- 3) A stiffened raft foundation to AS2870 would be appropriate founded on the most economic of the options discussed in 3.4 above.
- 4) If a spread footing is proposed, this should be designed for an allowable bearing pressure of 80 kPa.

- 5) All stormwater should be collected from roofed and paved surfaces for discharge to locations specified by an Engineer.
- 6) An Engineer should supervise the earthworks, building platform construction and foundation construction prior to the concrete pour, to ensure that the design criteria have been met and to issue a Producer Statement PS4 - Construction Review.
- 7) The Soakage Field should be developed in accordance with section 4 above. A Field of 480m² should be set aside for soakage in the location noted on the attached plan.
- 8) During construction of the Soakage field an Engineer should check the excavated soakage trenches to confirm the soil suitability and confirm the trench length. Following confirmation of the construction details the Engineer should issue a Producer Statement PS4 - Construction Review.



6. LIMITATIONS

This report has been prepared for Sovereign Homes as our Client with respect to the brief noted. It is not to be relied upon for any other purpose without reference to Duffill Watts & King Ltd. The reliance by other parties on the information or opinions contained in the report shall, without our prior review and agreement in writing shall be at such parties' sole risk.

Recommendations and opinions in this report are based on data obtained from the investigations and site observations as detailed in this report. The nature and continuity of subsoil conditions at locations other than the investigation bores and tests are inferred and it should be appreciated that actual conditions could vary from the assumed model.

It is essential that this office be contacted if there is any variation in subsoil conditions from those described in this report as it may affect the design parameters recommended.

If there are any questions arising from the above or during construction, please call this office.



WHANGAREI
DISTRICT COUNCIL

Code Compliance Certificate: 86014
Section 95, Building Act 2004

Issued: 11 May 06

Box 136

The Building

Street Address of building: CROSSETT RD, R D 6, WHANGAREI 0121

Legal Description of land where building is located:
LOT 7 DP 349182
LLP 114717

Current, lawfully established use: NEW BUILDING

Year first constructed: 11 MAY 2006

The Owner

Name of owner: GARY & MELISSA LANGLEY
Mailing Address: C/- B & G DRAKE
KNIGHT RD, R D 6
WHANGAREI

Contact Person: SOVEREIGN HOMES LTD
Mailing Address: P O BOX 303-055
NORTH HARBOUR
NORTH SHORE CITY

Street address/registered office: CROSSETT RD
R D 6
WHANGAREI 0121

Building Work

NEW DWELLING WITH ATTACHED GARAGE

Building Consent number: 86014

Issued by: WHANGAREI DISTRICT COUNCIL

*Creating the ultimate
living environment*

Forum North, Private Bag 9023
Whangarei, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

- 2 -

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that -

(a) the building work complies with the building consent.

Council Charges

The Council's total charges payable on the uplifting of this code compliance certificate in accordance with the attached details are: \$0.00

This is a final code compliance certificate issued in respect of all of the building work under the above building consent



Signature



Position

On behalf of: WHANGAREI DISTRICT COUNCIL

Date: 11 May 2006

Final Code Compliance Certificate 86014

0901369

BUILDING CONSENT No: BC0901369
Section 51, Building Act 2004

Issued: 22 December 2009
Project Information Memorandum No: PM0901309



WHANGAREI
DISTRICT COUNCIL

The Building

Street address of building: 64 Crossett Road
Whangarei 0176

Legal description of land where building is located: LOT 1 DP 360333
LLP 115730

Building name: N/A
Location of building within site/block number: N/A
Level/unit number: N/A

First point of contact for communications with council/building consent authority

The Owner

M E Langley
G S Langley
64 Crossett Road
RD 6
Whangarei 0176

Phone number: 09 433 5699
Mobile number: 027 453 6316
Facsimile number: N/A
Email address: gaz.liz@clear.net.nz
Website: N/A

Street address/registered office: 64 Crossett Road
Whangarei 0176

Building Work

The following building work is authorised by this consent:

New Shed

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living environment*

Forum North, Private Bag 9023
Whangarei, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Section 90 Building Act 2004

See attached list of required inspections.

Compliance Schedule

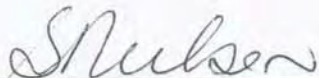
A compliance schedule is not required for the building.

Attachments

No attachments.

Additional Information

1. Dust Nuisance
The applicant must control dust nuisance created by any site or building works.
2. Toilet Facilities
Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.



Signature

(Susan Neilsen)

Support Assistant - Issuing

Position

On behalf of: Whangarei District Council

22 December 2009

RECEIVED
CUSTOMER SERVICES
02 DEC 2009
WHANGAREI
DISTRICT COUNCIL

APPROVED 2009
BC NUMBER 1 DAY 14TH
01369 1712
WHANGAREI DISTRICT COUNCIL
BCA

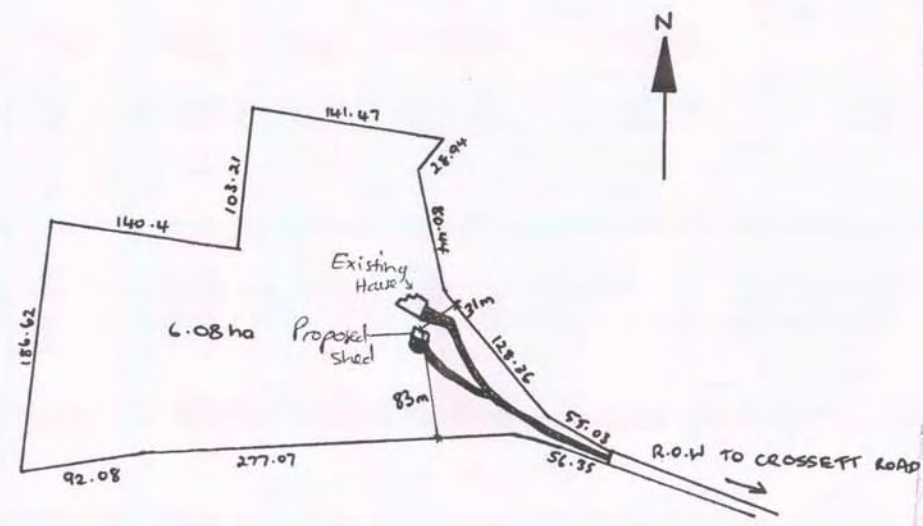


SITE LOCATION
PLAN

GS + ME LANGLRY
64 CROSSETT ROAD
RUATANGATA

DATE: 17 NOVEMBER 2009
LOT 1 DP 360333

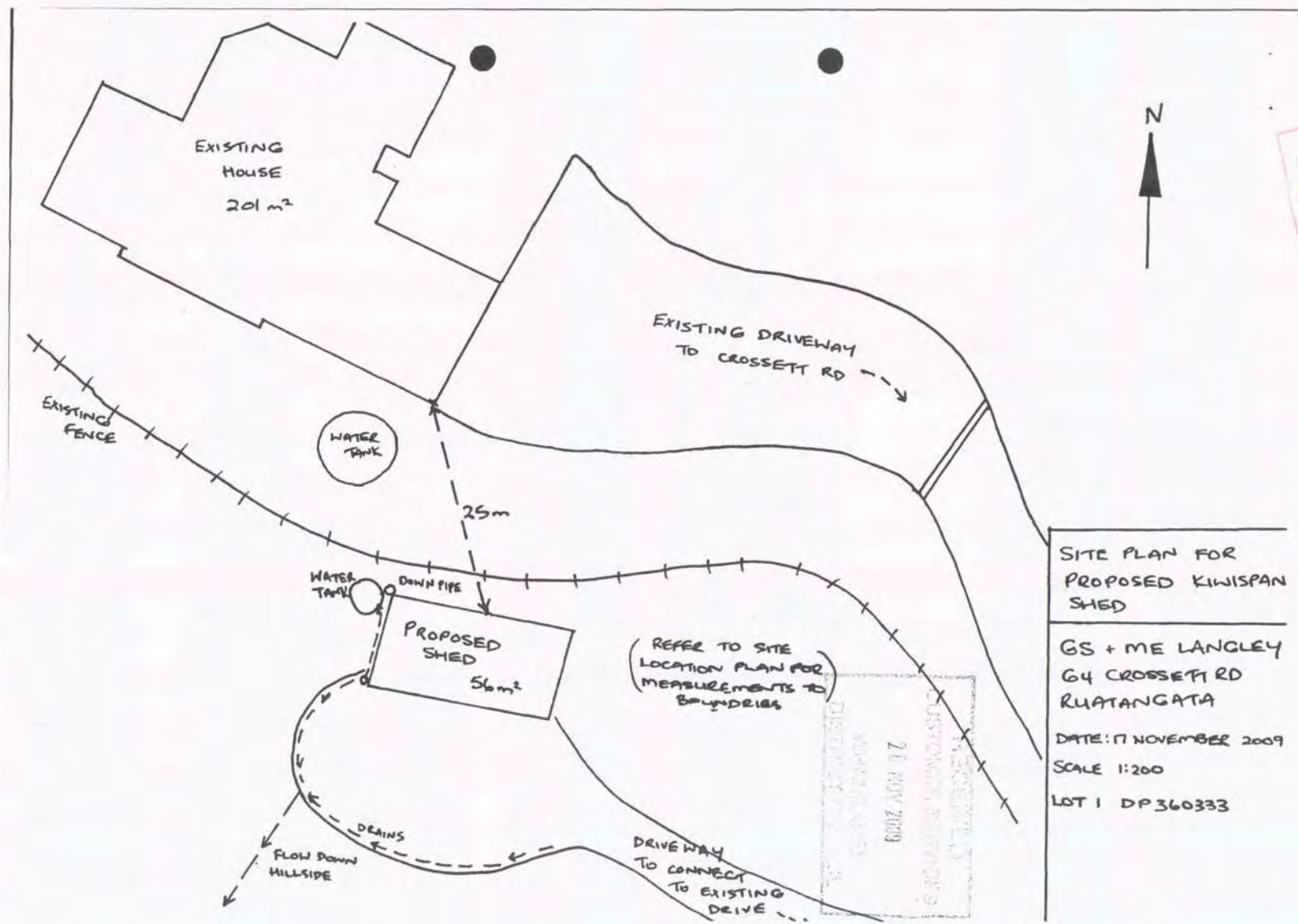
Not to scale.



RECEIVED
CUSTOMER SERVICES
17 NOV 2009
WHANGAREI
DISTRICT COUNCIL
BCA

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02 DEC 2009
WHANGAREI
DISTRICT COUNCIL

APPROVED 2009
BC NUMBER 1 DAY 1MTH
01369 1712
WHANGAREI DISTRICT COUNCIL
BCA



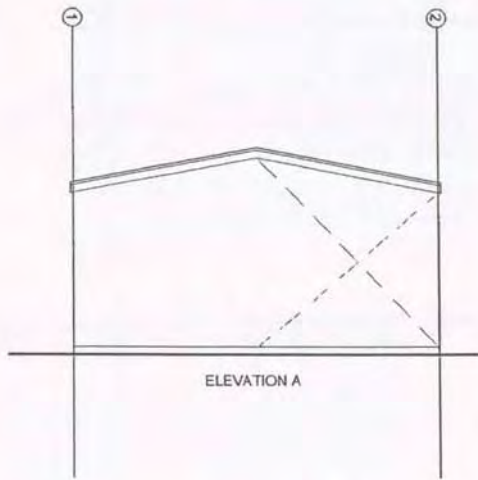
SITE PLAN FOR
PROPOSED KIWISPAN
SHED

GS + ME LANGLEY
64 CROSSETT RD
RUATANGATA

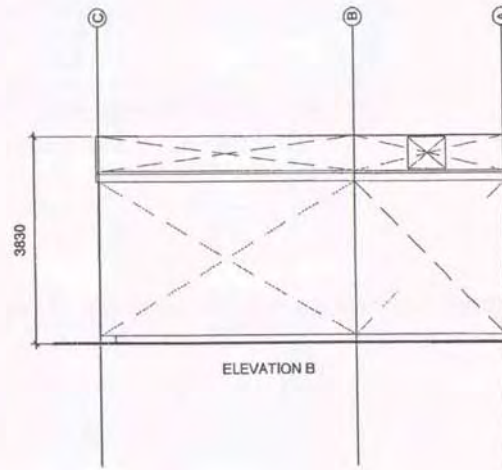
DATE: 17 NOVEMBER 2009

SCALE 1:200

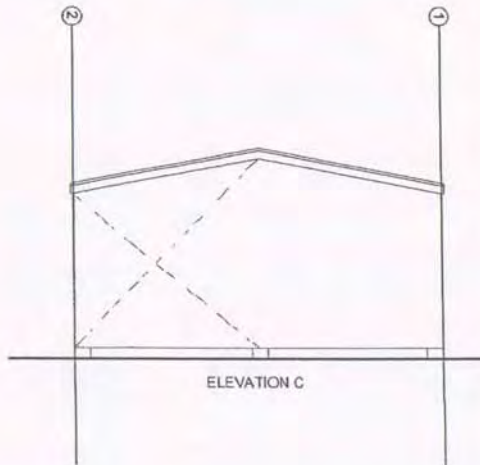
LOT 1 DP360333



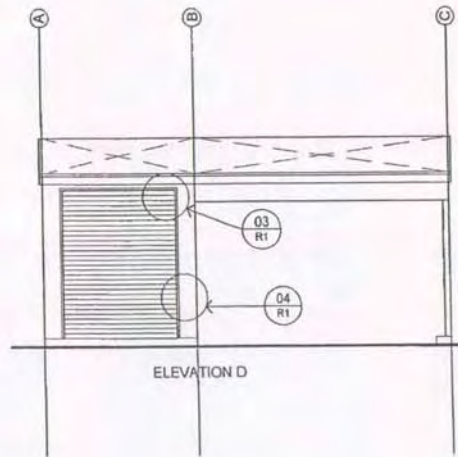
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

APPROVED 2009
 BC NUMBER 1 DAY 14TH
 01369 1712
 WHANGAREI DISTRICT COUNCIL
 BCA

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 CUSTOMER SERVICES
 02 DEC 2009
 WHANGAREI
 DISTRICT COUNCIL

Revisions

Check all measurements and grades on site before fabrication

Do not scale drawings

If in doubt contact drawing office

All work to comply with NZBC, NZS3604 1999 and Engineers Producer Statement where applicable

Kiwispān to inspect and approve drawings before construction commences.

No liability will be taken for work undertaken

To be read in conjunction with Kiwispan technical Information

To be constructed by approved installer

Project

LANGLEY

Drawing Title

ELEVATIONS

Scale

1:100 at A3

Designed: B.v.V

Drawn: B.v.V

Checked: B.v.V

Issued

NOVEMBER 2009

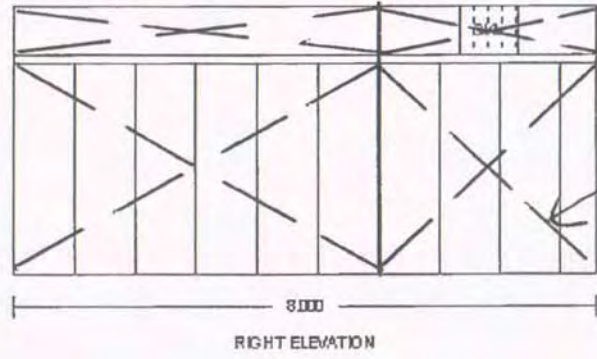
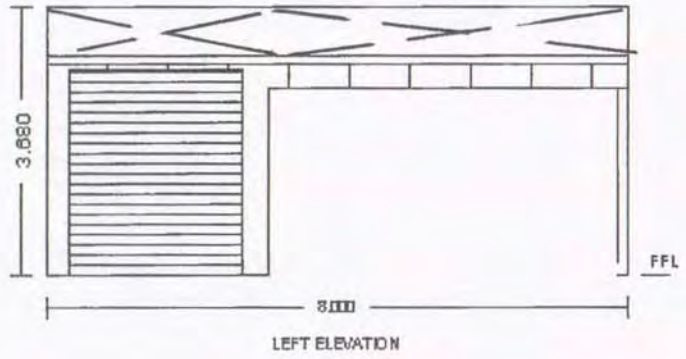
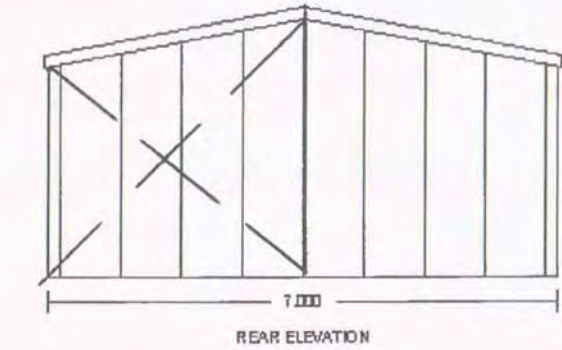
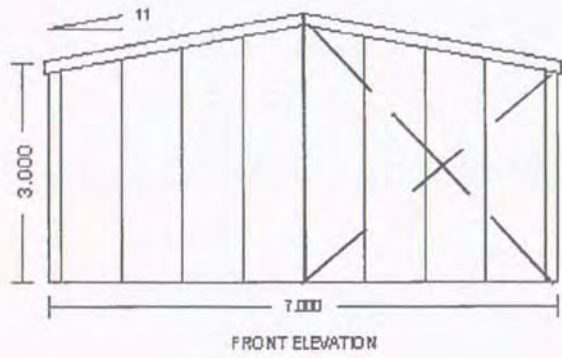


P.O. Box 352
 Kerikeri
 09 4077075

Drawing No 100188

Sheet S02

emc
 gmc2 limited
 structural & civil engineering
 be, mipenz, cpeng, intpe



emco
 erco limited
 structural & civil engineering
 be, mipenz, cpeng, jatpe

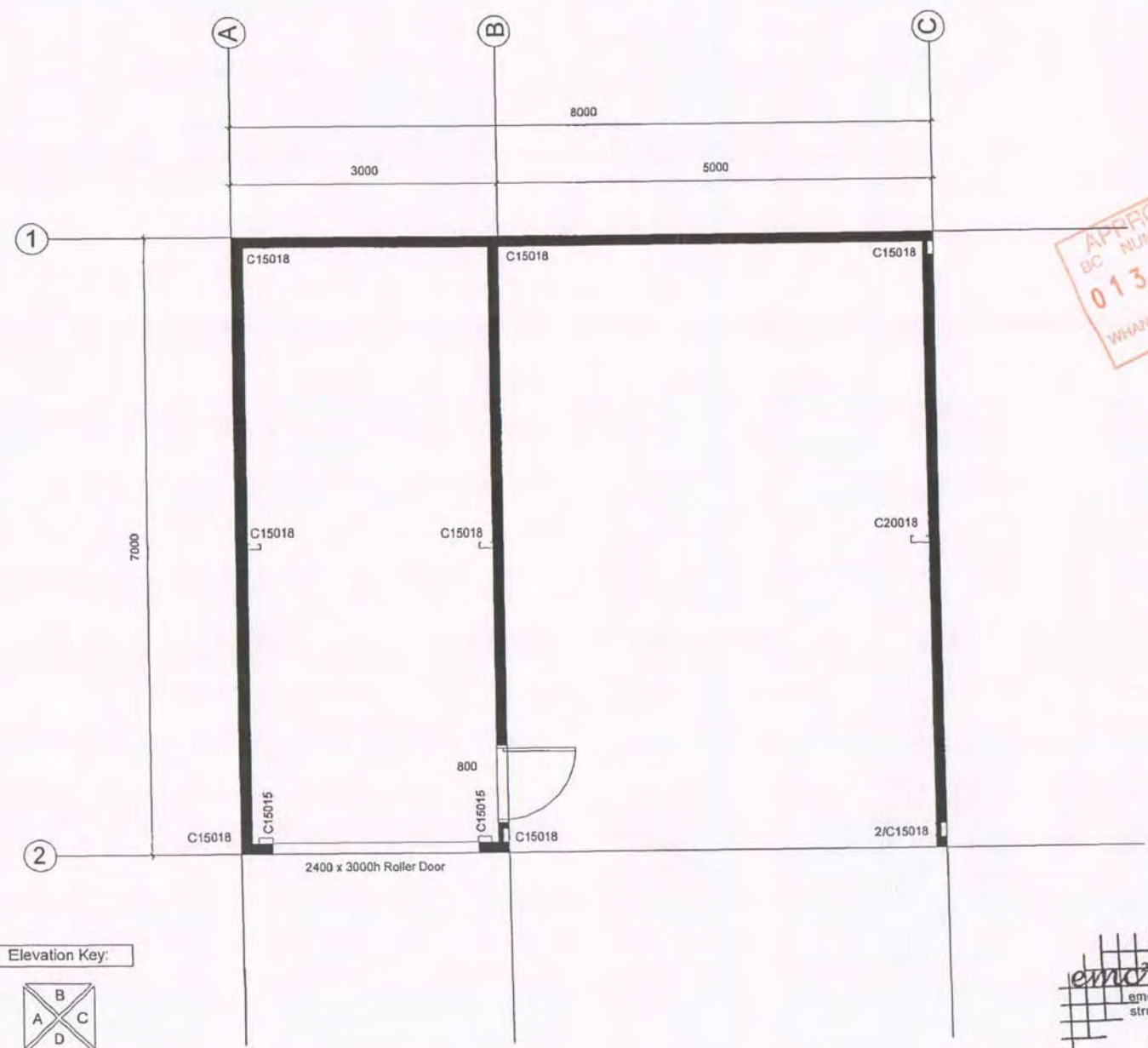
50x0.75 (G10)
 Strap Bracing

RECEIVED
 CUSTOMER SERVICES
 02 DEC 2009
 WHANGAREI
 DISTRICT COUNCIL

Northland Structures Ltd
 KIWISPAN Whangarei

PROPOSED 7,000x8,000x3,000 High Wind	
At 64 Crossett Rd RD6, Whangarei	
For Melissa Langley	
Wall Colour - Colour Steel	Roof colour - Colour Steel
Barge Colour - Colour Steel Trim	Roller Door Colour - Colour Steel
Job No JANZS130804135EQuote No QANZS13101510321575a 1:100	
All Work To Be In Accordance With Accompanying Engineers Details	

RECEIVED
CUSTOMER SERVICES
02 DEC 2009
WHANGAREI
DISTRICT COUNCIL



APPROVED 2009
BC NUMBER 1 DAY LATH
01369 1712
WHANGAREI DISTRICT COUNCIL
SCA

Revisions

- Check all measurements and grades on site before fabrication
- Do not scale drawings
- If in doubt contact drawing office
- All work to comply with NZBC, NZS3604 1999 and Engineers Producer Statement where applicable
- Kiwispin to inspect and approve drawings before construction commences.
- No liability will be taken for work undertaken
- To be read in conjunction with Kiwispan technical information
- To be constructed by approved installer

Project

LANGLEY

Drawing Title
FLOOR PLAN

Scale
1:50 at A3

Designed: B.v.v
Drawn: B.v.v
Checked: B.v.v

Issued
November 2009

Elevation Key:



emc2
emc2 limited
structural & civil engineering
He, mpenz, cpeng, intpe



P.O.Box 352
Kerikeri
09 4077075

Drawing No 100188
Sheet S01



Code Compliance Certificate BC0901369
Section 95, Building Act 2004
Issued: 23 March 2010



WHANGAREI
DISTRICT COUNCIL

The Building

Street Address of building: 64 Crossett Road
Whangarei 0176

Legal Description of land where building is located: LOT 1 DP 360333
LLP 115730

Building name: N/A
Location of building within site/block number: N/A
Level unit number: N/A
Current, lawfully established use: N/A
Year first constructed: 2009

The Owner

G S Langley
M E Langley
64 Crossett Road
RD 6
Whangarei 0176

Phone number: 09 433 5699
Mobile number: 027 453 6316
Facsimile number: 09 433 5699
Email address: gaz.liz@clear.net.nz
Website: N/A

First point of contact for communications with the building consent authority:

Contact Person

G S Langley
M E Langley
64 Crossett Road
RD 6
Whangarei 0176

Phone number: 09 433 5699
Mobile number: 027 453 6316
Facsimile number: 09 433 5699
Email address: gaz.liz@clear.net.nz
Website: N/A

Street address/registered office: 64 Crossett Road
Whangarei 0176

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Forum North, Private Bag 9023
Whangarei 0148, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

Building Work

Building Consent number

Issued by:

New Shed

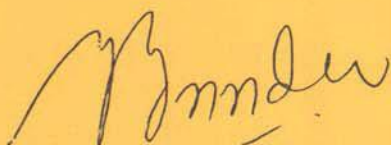
BC0901369

Whangarei District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

(a) The building work complies with the building consent.



Signature

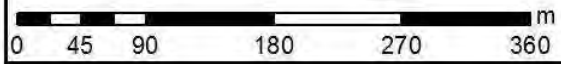
Support Assistant – Code Compliance
Position

On behalf of: Whangarei District Council

23 March 2010

Code Compliance Certificate BC0901369

Operative District Plan - Environments



Tuesday, November 9, 2021

Scale: 1:5,000



The information displayed is schematic only and serves as a guide.
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Cadastral Information has been derived from land Information New Zealand's (LINZ) Core Record System Database (CRS).
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Operative District Plan – Map Legend

Environment Maps

	Northpower Critical Overhead Lines CEL		Strategic Rural Industry
	Northpower Critical Underground Lines CEL		Fonterra Kauri Milk Processing SRIE – Ancillary Irrigation Farms
	Multi Title Site		Business 1
	Rescue Helicopter Flight Path		Business 2
	State Highway		Business 3
	Arterial Road		Business 4
	Collector Road		Town Basin
	Local Road		Port Nikau
	Designation		Marsden Point Port
	Scheduled or Overlay Area: S# label		Airport
	Oil Refinery Overlay		Living 1
	Living Overlay		Living 2
	Rural (Urban Expansion)		Living 3
	Rural Living		Kamo Walkability
	Rural Production		Marsden Primary Centre
	Rural Village Centre		Urban Transition
	Rural Village Industry		Ruakaka Equine
	Rural Village Residential		Open Space
			Papakāinga <small>Rule PKA 1.5.1 indicative only, Main Land Court data</small>
			Future Marine Village
			Future Environment <small>The colour indicates the particular environment</small>

Resource Areas Maps

	Notable and Public Trees		Coastal Area
	Heritage Buildings, Sites & Objects		Outstanding Natural Feature
	Sites of Significance to Maori		Outstanding Natural Landscape
	Building Line Restriction		
	Esplanade Priority Area		
	Runway		
	Air Noise Boundary		
	Outer Control Boundary		
	Coastal Hazard 1		
	Coastal Hazard 2		
	Flood Susceptible Areas		
	Mining Hazard Area 1		
	Mining Hazard Area 2		
	Mining Hazard Area 3		
	Scheduled Historic Area		
	Scheduled Area or Overlay Area		
	Fonterra Noise Control Boundary		
	Helicopter Hovering Area		
	QRA Quarrying Resource Area		
	QRA Mining Area		
	QRA Buffer Area		
	QRA 500m Indicative Setback		
	Goat Control Areas		

Coastal Areas Maps

	Coastal Area
	Outstanding Natural Character Area
	High Natural Character Area

All District Plan Maps

	Northpower Tower CEL-Cat1
	National Grid Tower
	Northpower Overhead Critical Line Cel-Cat1
	National Grid Line
	Indicative Road
	Coastline
	Coast, rivers and streams

The information displayed is schematic only and serves as a guide.

It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed.

Cadastral Information has been derived from Land Information New Zealand (LINZ) Core Record System Database (CRS).

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District Plan Appeals Version - Zones



Tuesday, November 9, 2021

Scale: 1:5,000



The information displayed is schematic only and serves as a guide.

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District Plan Appeals Version – Map Legend

Zone Maps

Northpower Critical Overhead Lines CEL	Ruakaka Equine Zone
Northpower Critical Underground Lines CEL	Large Lot Residential Zone
Multi Title Site	Low Density Residential Zone
Rescue Helicopter Flight Path	General Residential Zone
Designation	Medium Density Residential Zone
Papakainga <small>Rule PKA 1.5.1 Indicative only, Maori Land Court data</small>	Neighbourhood Centre Zone
Precincts and Development Areas	Local Centre Zone
Rural (Urban Expansion) Zone	Commercial Zone
Rural Living Zone	Shopping Centre Zone
Rural Production Zone	Mixed Use Zone
Rural Village Centre Sub-Zone	Waterfront Zone
Rural Village Industry Sub-Zone	City Centre Zone
Rural Village Residential Sub-Zone	Light Industrial Zone
Strategic Rural Industries Zone	Heavy Industrial Zone
Fonterra Kauri Milk Processing SRIE – Ancillary Irrigation Farms	Airport Zone
Marsden Primary Centre	Hospital Zone
	Port Zone
	Development
	Open Space Zone
	Sport and Active Recreation Zone
	Natural Open Space Zone

Appeals

NZTA and KiwiRail
Kainga Ora
Other

Resource Areas Maps

Notable and Public Trees	Flood Susceptible
Heritage Buildings, Sites & Objects	Mining Hazard Area 1
Sites of Significance to Maori	Mining Hazard Area 2
Runway	Mining Hazard Area 3
Air Noise Boundary	Scheduled Historic Area
Outer Control Boundary	Fonterra Noise Control Boundary
Esplanade Priority Area	Helicopter Hovering Area
Coastal Hazard 1	QRA Quarrying Resource Area
Coastal Hazard 2	QRA Mining Area
Strategic Railway Line Protection Area	QRA Buffer Area
Strategic Road Protection Area	QRA 500m Indicative Setback
Indicative Road	Goat Control
Road Hierarchy	Coastal Area
National	Outstanding Natural Feature
Regional	Outstanding Natural Landscape
Arterial	
Primary Collector	
Secondary Collector	
Low Volume	
Access	

Coastal Areas Maps

Coastal Area
Outstanding Natural Character Area
High Natural Character Area

All District Plan Maps

Northpower Tower CEL-Cat1
National Grid Tower
Northpower Overhead Critical Line Cel-Cat1
National Grid Line
Coastline
Coast, rivers and streams

The information displayed is schematic only and serves as a guide.

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