

Pre-sale Building Inspection Report

Disclaimer:

This document has been obtained on behalf of the Vendor and copies have been made available to prospective Purchasers and interested parties for general information purposes only. However, neither the Vendor, Paul Sumich nor Harcourts Real Estate (Optimize Realty Limited), warrant the accuracy of this copy and they accept no liability for any errors or omissions in the report. It is recommended to all prospective Purchasers and interested parties that they obtain and rely on their own reports and make their own independent enquiries for due diligence purposes.



RED LBP PRE-PURCHASE REPORT

- ✔ Completed by a trade professional
- ✔ Complies with NZS 4306:2005 Residential Property Inspection
- ✔ Full comprehensive written report
- ✔ Non-invasive moisture testing
- ✔ Floor level spot checked
- ✔ Summary identifying any significant faults or defects

PRE-PURCHASE



0800 113 191 • REDLBP.CO.NZ



TABLE OF CONTENTS

TITLE PAGE	1
TABLE OF CONTENTS	2
PRE-PURCHASE BUILDING REPORT	3
CERTIFICATE OF INSPECTION	4
LIMITATIONS, CONDITIONS, REPORT TYPES & SCOPE OF REPORT.	5
EXECUTIVE SUMMARY.	7
PROPERTY IDENTIFIERS	8
BUILDING DESCRIPTION	8
BUILDING ELEMENTS.	9
WEATHERTIGHT RISK MATRIX	11
FOUNDATION	12
WALL FRAMING	14
ROOF SPACE.	16
INTERIOR LININGS	18
ROOF SYSTEM	39
EXTERIOR CLADDING	48
EXTERIOR JOINERY	54
NON-STRUCTURAL SYSTEMS.	57
DRIVEWAY	58
BOUNDARY FENCES	59
PATHS	63
DECK	66
GATES	69
VERANDAH/PORCH.	70
DRAINAGE	72
HEATING.COOLING.VENTILATION	74
SERVICES	78
CONCLUSION	83

PRE-PURCHASE BUILDING REPORT

Property Address	33 Kotare Crescent, Maunu, Whangarei, Northland, 0110, NZL		
Client	Tam Whitehorn		
Date of Inspection	29th February 2024	Time	1:00 pm
Inspector	Jamie Mackintosh Licensed Building Practitioner Brick & Block		
LBP Number	116085		
Additional Information			
People Present	Inspector, Owner		
House Occupied	Yes		





CERTIFICATE OF INSPECTION IN ACCORDANCE WITH NZS 4306:2005

REDLBP.
BUILDING REPORTS & PROPERTY INSPECTIONS

Company: Northland Inspections trading as RedLBP

Client: Tam Whitehorn

Date of Inspection: 29th February 2024

Site Address: 33 Kotare Crescent, Maunu, Whangarei, Northland, 0110, NZL

Inspector: Jamie Mackintosh

Qualifications: Licensed Building Practitioner Brick & Block

The following areas of the property have been inspected:

Inspection	Yes	No	Limited	N/A
Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Subfloor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Exterior	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Roof Space	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Interior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Accessory Units, Ancillary Spaces and Buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Any limitations to the coverage of the inspection are detailed in the written report.

Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspections - and I am competent to undertake this inspection.

Name: Jamie Mackintosh

Date: 29th February 2024

Signature:

(for and on behalf of REDLBP)

An inspection that is carried out in accordance with NZS 4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.

Note * please refer to TERMS of ENGAGEMENT

LIMITATIONS, CONDITIONS, REPORT TYPES & SCOPE OF REPORT

PURCHASE BUILDING REPORT

This report has been generated through a non-invasive inspection and is intended to provide recommendations solely on visible items. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report.

This report is not a weathertight report. Please note that although moisture readings will be taken and will be reported on if they are deemed to be outside of a general tolerance, this does not replace the recommendations of a trade qualified weathertightness expert, and any readings taken are of a non-invasive type only.

1) The scope of the report will be limited to:

- a. Significant defects
- b. Particular attributes
- c. Gradual deterioration; and
- d. Significant maintenance required

2) It will exclude:

- a. Legal title
- b. Building warrant of fitness and services prescribed on a compliance schedule
- c. Planning, resource consent issues
- d. Building consent issues
- e. Long term maintenance planning
- f. Rental property tenancy inspections
- g. Heritage obligations
- h. Compliance the Body Corporate rules, the terms of memorandum of cross lease or a company title occupation agreement.
- i. LIM – Land Information Memorandum

GENERAL

This report has been completed via a non-invasive inspection and provides recommendations only to items that were able to be seen. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report. The report is to be used by the client only as guidance for evaluation of the condition of the premises and is not intended as an all-encompassing report dealing with the premises from every aspect. The report is not intended to provide an indication of value, worth or suitability of the premises. This report should be seen as a general guide from a qualified trade professional providing a snapshot of the property and its elements. It is not designed to advise a potential buyer on the advisability of purchase,

rather to provide enough information to satisfy the client and the lender on the elements of the property from a general perspective. Where qualified building recommendations have been inappropriate, recommendations from sub-trade experts have been given and noted. The experts may include electrical inspectors, weathertightness experts, engineers, and surveyors.

The inspection should not be misused as a form of compliance inspection as per the local authorities, nor should it be used as any guarantee or warranty of the present or future adequacy or integrity of any of the systems reported on in the property. Any descriptions presented within this report, are based on trade knowledge and experience. These should be taken as general estimates only, based on the opinion of the qualified LBP completing the report and there may be cause for variation. Should any disputes arise due to the content of this report, this will be actioned as per the terms and conditions accepted at the time of booking the inspection. In all inspections, the inspector will not touch or move vendor's, tenant's or occupant's possessions or other items within the house and RedLBP inspectors will not be responsible for linings, flooring and other areas not able to be seen because of such possessions or items obscuring line of sight observations. This applies equally where carpeting, mats and so on might be obscuring/covering a view of any issues or defect in concrete or wooden flooring. The Inspector shall not disassemble equipment, or undertake any intrusive or destructive inspection, moving of furniture, appliances or stored items, or excavation. The report is valid only for a period of 30 days after release to the client, after which time the premises will require re-inspection to determine the currency of the report together with any changed circumstances which may affect the premises.

This report contains information obtained by inspection, sampling, testing or other means of investigation. Unless specifically stated otherwise in this report, RedLBP has relied on the accuracy, completeness, currency, and sufficiency of all information provided to it by, or on behalf of, the client or any third party, and has not independently verified the information provided. RedLBP accepts no responsibility for errors or omissions in, or in the currency or sufficiency of, the information provided.

The assessment of any apparent defect which may occur intermittently or usually occurs after regular use will not be reported nor any defect that is only evident with prevailing weather.

This report must be read in its entirety, it may not be reproduced in part by any individual.

Only the named owner of the report may use the information contained within the report.

The purchaser of this report has purchased the right to review the information contained within the report. All information remains the sole property of RedLBP Ltd.

Written reports completed by Red LBP follow the voluntary standard NZS4306:2005.

Note. This report has been produced as a result of a visual-only inspection of what was seen at the time and day of the inspection. The report is general in nature and is not intended as a substitute for professional advice. Nor does it purport to a survey plan of the site of the building. If further clarification is needed on any comments or any explanation at all, is required on any part of the report or photos then please contact the writer as soon as possible.

EXECUTIVE SUMMARY

The overall condition of the house is average. This is in context of the average condition of similar buildings of approximately the same age, type of construction and material type.

The dwelling was originally built in the 1980's with alterations to multiple areas through multiple eras of it's life.

Areas not inspected or accessed fully - Roof space and roof system.

The reason for not inspecting these - Not able to be viewed safely from a 3.6 metre ladder and confined space.

All attempts will be made to safely view, but if unable to inspect the areas, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

A confined space:

- is an enclosed or partially enclosed space and
- is not intended or designed primarily for human occupancy and
- may present a risk from one or more of the following at any time:
 - : unsafe concentration of harmful airborne contaminants
 - : unsafe concentration of flammable substances
 - : unsafe levels of oxygen
 - : substances that can cause engulfment
 - : harmful or toxic substances

The property is in average condition for its age and has been suitably maintained over its life with some minor issues as detailed within the report, these do not require immediate attention and can be attended to as part of routine maintenance.

PROPERTY IDENTIFIERS

Address	33 Kotare Crescent, Maunu, Whangarei, Northland, 0110, NZL
Legal Description	LOT 29 DP 86240
Certificate of Title	NA44A/155
Land classification	Wind Zone - High - BRANZ - GIS
Weather	Fine
Soil	Dry
Site Exposure	Sheltered

BUILDING DESCRIPTION

The property was originally built in the 1980's and is located in Maunu. It is a freehold title situated on a front section that is flat.

The dwelling is two storey with four bedrooms and two bathrooms. Internally, the property has heating that consists of heat pumps and solid fuel burner which are located in the living room and bedroom. The water system is heated by an electric hot water cylinder. The internal linings are plasterboard and timber and are decorated with paint. The floors are concrete with floor coverings being vinyl, carpet and composite flooring.

The foundation system is a concrete slab on grade with the dwelling being timber construction. The exterior joinery is aluminium and is single-glazed. The property is clad with brick veneer and fibrous cement weatherboard with a paint coating. The roof is decramastic tin tiles.

There is a garage, that is attached to the house, with double capacity, and internal access. The driveway is concrete.

Generally, the property has a living aspect of east and includes hard landscaping that consists of a deck and a patio. Soft landscaping of lawn and gardens.

BUILDING ELEMENTS

The following is a summary of the building elements inspected:

Type	Inspected
Weathertight Risk Matrix	
Weathertightness risk	Viewed
Foundation	
Type C2 - Timber framed dwelling on concrete floor with heavy-weight cladding.	Limited access
Wall Framing	
Timber framed - wall	Not viewed
Roof Space	
Timber framed - roof	Limited access
Interior Linings	
Plasterboard and timber ceiling and wall linings, timber trims and doors, carpet, vinyl and composite floor coverings.	Viewed
Living room	Viewed
Kitchen	Viewed
Laundry	Viewed
Bedroom 1	Viewed
Stairway	Viewed
Bedroom 2	Viewed
Toilet	Viewed
Bedroom 3	Viewed
Bathroom	Viewed
Bedroom 4	Viewed
Ensuite	Viewed
Balcony	Viewed
Toilet	Viewed
Garage	Viewed
Roof System	
Pressed metal tiles	Limited access
Flashings & penetrations	Limited access

Guttering, downpipes, fascia & soffits	Limited access
Exterior Cladding	
Brick veneer, fibrous cement sheeting and fibrous cement weatherboard	Viewed
Exterior Joinery	
Single-glazed aluminium joinery with timber reveals.	Viewed

Weathertight Risk Matrix

Homeowners weathertightness risk assessment.

Weathertightness is the ability of a building's external cladding and components to prevent external moisture ingress to enter the internal of the building.

Wind zone - High = 1 (scoring range of 0-2).

Number of stories - Two storeys in part = Medium risk - 1 (scoring range of 0-4).

Roof/wall intersection design - Low risk - roof-to-wall junctions fully protected (e.g. hip or gable roof with eaves) = 0 (scoring range of 0-5).

Eaves width - Medium risk - 450 mm - 600 mm first storey, or over 600 mm at second storey = 1 (scoring range of 0-5).

Envelop complexity - Medium risk - Moderately complex, angular or curved shapes (e.g. Y or arrowhead) with no more than two cladding types = 1. (scoring range of 0-5).

Deck design - High risk - Enclosed deck exposed in plan or cantilevered at first-floor level = 4 (scoring range of 0-6).

Total Risk matrix score - 8.

Philosophy of risk assessment

The development of the risk assessment approach taken in E2/AS1 is based on work undertaken in 1999 by two Canadians, architect Don Hazeldon and building scientist Paul Morris. They developed a simple concept called the 4Ds to describe four basic principles of water management in buildings.

Deflection: keeping water away from potential entry points.

Drainage: providing means of removing water that does enter.

Drying: allowing any remaining moisture to be removed by ventilation or diffusion, and

Durability: providing materials with appropriate durability.

As per the guidance document for Acceptable Solution E2/AS1 ("E2/AS1") for Clause E2 External Moisture of the New Zealand Building Code.

Recommendations:

The weathertight risk matrix is for design purposes, although it allows us to consider the home's weathertightness it does not reflect the condition of the home.

Foundation

Type - C2 - Timber-framed dwelling on a concrete floor with heavyweight cladding.

Height above finished ground - Over 150 mm around the perimeter.

The minimum heights of the floor above the ground should be maintained at 150 mm to paved ground, 225 mm to unpaved ground

Cracking - None observed.

Dampness - None visible at the time of the inspection.

Recommendations:

The floor levels were checked using a self-levelling laser and in our opinion are at acceptable tolerances. There are indications of undulations and minor slopes at random locations, however, this is to be expected of older properties.

Tolerances as per MBIE guide to tolerances, materials and workmanship in new residential construction 2015. as per below:

- Finished floor slope no more than 1:200 = 5 mm per 1 metre - MBIE

MBIE - Ministry of Business, Innovation and Employment.



Photo 3

Concrete foundation.

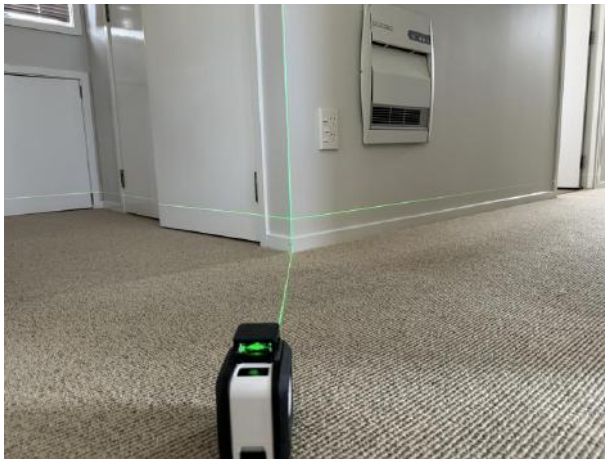


Photo 4

Floor levels checked using a self levelling laser level.

Wall Framing

Timber due to age and construction type.

Protimeter Reachmaster Pro moisture metre is used for the testing of moisture levels in the dwelling. At the time of the inspection internal surface moisture test were completed, this was consistent throughout the house with no abnormalities.

The ensured values are only to be interpreted as indicators (dry, risk, wet).

<60 = Dry

<60 but <170 = Dry (Green)

>170 but <200 Risk (Yellow)

>200 but <999 = Wet (red)

The condition of the wall framing is unknown.

Recommendations:

No elevated moisture readings were detected, all normal at time of inspection.

The condition of the internal framing is unknown.



Photo 5

No elevated moisture readings at the time of inspection.



Photo 6

No elevated moisture readings around the wet areas at the time of inspection.

Roof Space

The ceiling space was viewed from the top of a ladder via a manhole located in the hallway. Access hatch size - 500mm x 500mm.

All attempts will be made to safely view, but if unable to inspect the area, it will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference. Not all areas of the roof space structure can be seen and the purpose of our inspection is to check for any overall significant defects from a visual inspection.

Roof frame construction and connections - Manufactured timber trusses. Connections were not all visible.

Condition - No issues visible.

Roofing underlay - Bituminous self-supporting paper. Condition - No visible issues.

Obvious structural alteration - No.

Ceiling construction - Timber ceiling battens visible.

Vermin and insects - No current issues.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible - Unsupported.

Non-Electrical wiring - Aerial/Data - None visible.

Plumbing - None visible.

Plumbing type - Not applicable.

Insulation - None.

Thickness of insulation visible - Over None.

Coverage -

Discharges into the roof space - No.

Intertenancy fire wall - Not applicable.

Stored items - No.

Visible defects - No visible defects at the time of the inspection.

Recommendations:

As part of regular maintenance, it is advisable to conduct regular visual checks of the roof space via the manhole to identify any issues, including leaks or pest activity.

Recommend installing a suitable insulation to the roof space.



Photo 7

Roof space showing manufactured timber trusses and HRV system.



Photo 8

Roof space showing no insulation. Modern electrical wiring visible.

Interior Linings

Plasterboard and timber ceiling and wall linings with a paint finish, timber trims and doors with a paint finish, carpet, vinyl and composite floor coverings.

Recommendations:

The inspection and resulting report are not intended to identify or describe minor faults or minor defects. A minor fault or minor defect is a matter which, in view of the age, type or condition of the residential building, does not require substantial repairs or urgent attention and rectification and which could be attended to during normal maintenance. Minor faults and defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes.

Living room

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Composite flooring.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 9

Living room.



Photo 10

Dining room.

Kitchen

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass and safety glass - Painted timber reveals.

Internal doors - Hollow core.

Benchtop - Sealed to cabinet/wall junction - Yes.

Benchtop material - Laminate.

Benchtops level - Yes.

Damage - None visible at the time of the inspection.

Cabinetry - Functional - Yes. Material type - Laminate.

Cabinetry requires maintenance - No.

Water hammer - No noise or vibration noted.

Sink - Leaks or visible issues - No.

Faucet functional - Yes.

Type of plumbing - PVC waste.

Heat shield - Tempered glass.

Cooktop - Electric - Not checked. Unable to test induction top, powered on only.

Oven - Powered on only - Functioning - Yes.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Garbage disposal - Not applicable.

Floor coverings - Composite flooring.

Dishwasher - Functional - Yes. This was powered on only, not run through a cycle.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Panel.

Defects - None identified.

It is outside the scope of this report to check the operation and performance of the appliances, these are checked only for power connection. It is recommended that appliances are serviced regularly to ensure proper safe operation.



Photo 11

Kitchen.



Photo 12

Dining area.

Laundry

Ceiling linings - Plasterboard and softboard tiles - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - Minor cosmetic issues.

Exterior joinery - Aluminium and timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Located - Laundry room.

Floor coverings - Vinyl.

Laundry tub/sink - Modern units, sink and benchtop joinery. No visible issues.

Taps & waste - Functional - Yes.

Leaks - None visible at the time of the inspection.

Type of plumbing - PVC waste.

Washing machine discharge - To the waste under the sink.

Water hammer - No noise or vibration noted.

Cabinets - None.

Cupboards - Single - Door - Hollow core.

Ventilation - Opening door or window. Mechanical - None.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Defects - No significant issues.



Photo 13

Laundry.



Photo 14

Historic repair above the benchtop.

Bedroom 1

Ceiling linings - Softboard tiles - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 15

Bedroom one.

Stairway

Ceiling linings - Softboard tiles - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Type of stairs - Closed.

Construction material - Timber.

Handrail - Secure.

Height of handrail - Over 900 mm.

Balusters (posts providing support to the top & bottom rails of the barrier) - Secure - Yes. Material - timber.

Balustrade - (barrier) Timber.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double and Single - Doors - Hollow core.

Defects - None identified.

Recommendations:

Although the balustrade would have complied at the time of construction, in the interest of safety, it is recommended to be upgraded/replaced with a current code-compliant version.



Photo 16

Stairway. Recommend installing a handrail to the bottom section.



Photo 17

Timber balustrade on the top section. Recommend upgrading the balustrade to the current standards.

Bedroom 2

Ceiling linings - Softboard tiles - Paint finished.

Ceiling defects - Sagging.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Hollow core.

Defects - No significant issues.



Photo 18

Bedroom two.

Water closet

Ceiling linings - Softboard tiles - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Vinyl.

Condition - No visible issues.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Vanity - Not applicable.

Ventilation - Opening window sash.

Lights/Switch - Operational.

Defects - None identified.



Photo 19

First floor toilet.

Bedroom 3

Ceiling linings - Softboard tiles - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Hollow core.

Defects - None identified.



Photo 20

Bedroom three.

Bathroom

Ceiling linings - Softboard tiles - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard and wet area linings - Paint finished and factory finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Vinyl.

Cistern & pan - Tested - Not applicable.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste.

Splashback - Wet-area sheeting.

Bath - Spa bath - Spa function not tested. Taps and waste functional - Yes.

Shower - Over bath. No visible moisture issues.

Glass type - Safety.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Leaks from shower fittings - No.

Mechanical ventilation - None.

Heating - No.

Heated towel rail - No.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - Refer to photos.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

Recommendations:

Inbuilt baths can be prone to maintenance issues. Depending on how the bath has been installed and maintained depends on how watertight it remains and how much future maintenance it will require. Typical failure points are where the bath meets the wall and around the tap units.

It is recommended you constantly monitor these junctions to ensure damage is not occurring to the adjacent walls. No visible issues were noted during the inspection.



Photo 21

Bathroom.



Photo 22

Historic moisture damage to the bottom of the architrave and skirting.

Bedroom 4

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Hollow core.

Defects - None identified.

Recommendations:

Skillion roofs by design do not have access to view either construction or if insulation is fitted. Most properties with this type of roof construction over the past 50-odd years will have insulation, just to what degree cannot be easily established. The older the home the less insulation or thickness of insulation would be present.

This type of roof will or should also have ventilation allowing it to breathe and the condensation to escape. Thus maintaining the roofing structural integrity.

The condition of the roof framing is unknown.



Photo 23

Bedroom four.



Photo 24

Skillion roof design.

Ensuite

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - Cracking.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Vinyl.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste.

Splashback - Tiled.

Shower - Enclosure. No visible moisture issues.

Glass type - Safety.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Leaks from shower fittings - No.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Heating - No.

Heated towel rail - No.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - No significant issues.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.



Photo 25

Ensuite.

Balcony

Construction - Timber framed.

Constructed over - Garage.

Flooring substrate - Unknown.

Waterproofing membrane - Liquid applied.

Condition of membrane - No visible issues at the time of the inspection.

Flooring - None.

Drainage - No visible issues at the time of the inspection.

Fall to drains - Adequate.

Handrail and balustrade - Maintenance required. Secure at the time of the inspection.

Height of balustrade - 900mm.

Handrail stanchions - Fixed through the side of the walls.

Recommendations:

Recommend sealing around all balustrade to cladding junctions to maintain weather-tightness.



Photo 26

Balcony.



Photo 27

Drainage. Outlet runs to the guttering above the garage.



Photo 28

Timber balustrade.



Photo 29

Metal saddle flashing on the bottom rail. Recommend re-sealing around the flashing.



Photo 30

No saddle flashing on the top rail. Recommend sealing around the rail.

Water closet

Ceiling linings - Softboard tiles - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Composite flooring.

Condition - No visible issues.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Vanity - Floor mounted.

Taps & waste functional - Yes.

Water hammer - No noise or vibration noted.

Splashback - None, painted plasterboard.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste.

Ventilation - Opening window sash.

Lights/Switch - Operational.

Defects - Refer to photos.

Recommendations:

It is recommended that a water resistant splashback be installed behind the vanity to protect the painted wallboard from water damage.

Recommend installing skirting to the vanity wall and sealing the floor to skirting junction.



Photo 31

Ground floor toilet.



Photo 32

Vanity.

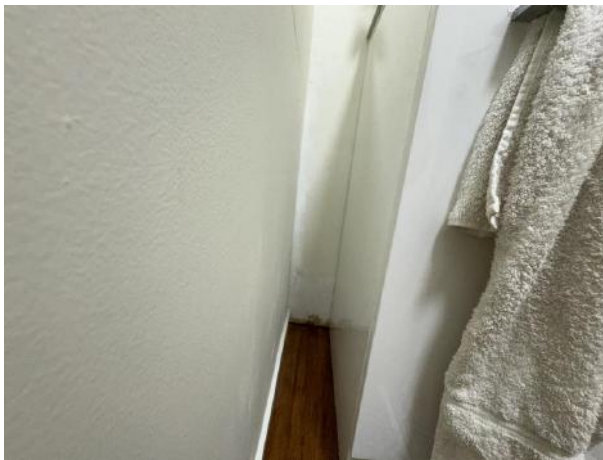


Photo 33

No skirting on the vanity wall.

Garage

Ceiling linings - Hardboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Hardboard - Paint finished.

Wall defects - Minor cosmetic issues.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Garage door - Roller - Single - Aluminium - Not insulated - Automatic opener functional - Yes.

Internal doors - Hollow core.

Floor coverings - None.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - No significant issues.



Photo 34

Double garage.

Roof System

Type of roof construction - Gable roof.

Pitch of roofs - 25 - 30 degrees.

Pitch appropriate for materials - Yes.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

All attempts will be made to safely view, but if unable to inspect, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

Pressed metal tile

Coating - Decramastic coated.

Condition of finish - No visible issues at the time of the inspection.

Fixings - Nail, concealed and to the leading edge.

Corrosion, damage or dented - Areas noted, refer to photos below.

Ridges/Hips/Barges - No visible issues at the time of the inspection.

Moss, mould or lichen - None visible at the time of the inspection.

Recommendations:

The roof was viewed from a 3.6 metre ladder to all accessible elevations.

Moss and mould treatment is an important aspect of decramastic tile maintenance. Moss and mould can grow on the surface of the tiles, compromising their appearance and potentially leading to damage. Applying appropriate treatments to eliminate moss and mould growth helps to maintain the tiles' integrity and prolong their lifespan.

If recoating is deemed necessary, it is recommended to have a Licensed Building Practitioner (LBP) who specialises in roofing inspect the tiles and provide advice.

Dented tin tiles should be repaired or replaced. The dents will deteriorate the tile's coating, which can cause ponding of water and worst case leaks may occur. Have an LBP in roofing undertake any repairs & maintenance outside of the homeowner's skill level.



Photo 35

Pressed metal tile with nail fixings.



Photo 36

Dented tiles on the north elevation.



Photo 37

Dented tiles on the east elevation above the garage.

Flashings - Flashings as per their design are never completely visible, the inspector will view all areas accessible safely from a 3.6 metre ladder or safe vantage point.

Valleys - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Barge - Viewable areas only.

Material type - Metal.

Finish - Decramastic coating.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Hips - Viewable areas only.

Material type - Metal.

Finish - Decramastic coating.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Ridges - Viewable areas only.

Material type - Metal.

Finish - Decramastic coating.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Apron - Viewable areas only.

Material type - Metal.

Finish - Decramastic coating.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Penetrations

Type - Venting.

Flashing material - Rubber and lead.

Condition - No visible issues at the time of the inspection.

Flashings - Back flashing installed.

Sealants - No visible issues at the time of the inspection.

Signs of leaking - None visible at the time of the inspection.

Recommendations:

Over time, sealants can deteriorate due to exposure to weather conditions, UV radiation, temperature fluctuations, and general wear and tear. Regular inspections of the roofing system should include a thorough examination of the sealants to identify any signs of degradation, such as

cracks, gaps, or peeling.

Checking the sealants involves visually inspecting the areas where they are applied, such as around vents, chimneys, skylights, and flashings. If any issues are identified, it is essential to address them promptly to prevent further damage and maintain the integrity of the roofing system.



Photo 38

Example of a metal apron flashing. Functional.



Photo 39

Example of a metal valley flashing. Clear at the time of inspection.



Photo 40

Flue penetration with lead flashing.



Photo 41

Vent penetration with lead flashing.



Photo 42

Vent penetration with rubber boot flashing.



Photo 43

Data penetration. Sealed.

Guttering

Type - External.

Material - PVC.

Snow straps - No.

Gutter guard - No.

Falls - Functional.

Fixings/brackets - Functional.

Obstructions - Clear at time of inspection.

Damage/Corrosion/Leaks - None visible at the time of inspection.

Adequate outlets - Yes - No visible issues.

Rainwater heads and droppers - No visible issues at the time of the inspection.

Moss and or lichen visible on or in the guttering system - None visible at the time of the inspection.

Downpipes

Material - PVC.

Fixings - No visible issues at the time of the inspection.

Brackets - No visible issues at the time of the inspection.

Damage - No visible issues at the time of the inspection.

Corrosion - None visible at the time of the inspection.

Spreaders - Recommend installation of spreaders.

Leakage, blockages & discharge - No visible issues at the time of the inspection.

Fascia & bargeboards

Material - Profiled metal.

Finish - Paint.

Damage & corrosion or rot - No visible issues at the time of the inspection.

Soffits & eaves

Material - Fibrous cement sheeting.

Finish - Painted.

Damage, rot or corrosion - No visible issues at the time of the inspection.

Soffit width from cladding to fascia - 500 - 600mm.

Eaves & soffit widths measured from the external face of wall cladding to the outer edge of the overhang, including the fascia.

Recommendations:

The roof was viewed from a 3.6 metre ladder to all accessible elevations.

The gutters were clear at the time of the inspection. It is important to keep the gutters clear of debris to ensure proper drainage. Clogged gutters can cause water to overflow and pool on the roof or into other elements of the building, leading to potential water damage, leaks, and structural issues. Regularly removing leaves, twigs, and other debris from the gutters prevents blockages and allows water to flow freely away from the roof.

It is recommended to install spreaders to downpipes that discharge onto lower roofs. This installation helps to distribute the flow of water evenly, preventing excessive water concentration in specific areas and reducing the risk of damage to the lower roofs.



Photo 44

Example of PVC guttering. Clear at the time of inspection.



Photo 45

Example of a PVC downpipe.



Photo 46

Recommend installing spreaders.



Photo 47

Example of timber fascia boards and fibre cement soffits.

Exterior Cladding

Material - Clay brick.

Erosion or spalling - None visible.

Mortar erosion/issues - None visible.

Cracking - None visible.

Lintels - Not applicable.

Loose bricks - None visible.

Brick to foundation alignment - No visible issues at the time of inspection.

Weep-holes - Clear at the time of inspection.

Vent holes - Clear at time of inspection.

Movement or cracking - None visible.

Penetrations - No visible issues at the time of inspection.

Dampness or moisture damage - None visible at the time of inspection.

Lime leaching - None visible at the time of inspection.

Efflorescence - None visible at the time of the inspection.

Type - Fibre-cement sheeting - Monolithic.

Vented cavity - No. Directly fixed to the framing.

Fixings - No visible issues at the time of the inspection.

Finish - Paint.

Overall condition - No visible damages.

Control joints - None.

Vertical cracking - None visible.

Cracking at window corners - None visible.

Horizontal cracking - None visible.

Staining or mould visible - Nothing visible.

Window flashing details - No visible issues. The windows are entirely sealed around all sides.

Penetrations - Reseal any penetrations as required.

Fascia junctions - Penetrate cladding.

Horizontal/flat surfaces - Not applicable.

Cladding to roof flashings and junctions - Apron flashings, no visible issues.

Ground clearances - Adequate ground clearances around the dwelling.

Fibrous cement - type - Bevel back weatherboard.

Vented cavity - No - Directly fixed to the framing.

Finish - Painted.

Condition of finish - No visible issues.

Areas of moisture absorption - None visible.

Joints/ends - No visible issues.

Cracks/splits/breaks - None visible.

Facings and trims - Securely fixed with no gaps.

Soakers & jointers - Metal and PVC.

Ground clearance - No visible issues.

Seals around doors and windows - Sealing required - Refer to the joinery section.

The exterior cladding was only viewed from any visible ground-level location or from any deck or balcony on the outside of the dwelling.

Recommendations:

Regular maintenance is necessary to keep the exterior surfaces clean and free from grime and contaminants, especially in areas that are not typically washed by rain, such as below spouting and eaves. Failure to clean these surfaces can lead to accelerated deterioration of construction materials. It's important to schedule normal maintenance over the next few years.

The tiled patio by the front door has no clearance to the exterior cladding, While there was no issues observed during the inspection. This configuration may lead to moisture issues due to capillary action. It is advisable to regularly monitor this area for potential issues and ensure it remains free of debris.

Recommend sealing penetrations where required.



Photo 48

North elevation.



Photo 49

Recommend sealing around the timber beams above the first floor balcony.



Photo 50

West elevation. Brick veneer on the ground floor with fibre cement weather boards on the first floor.

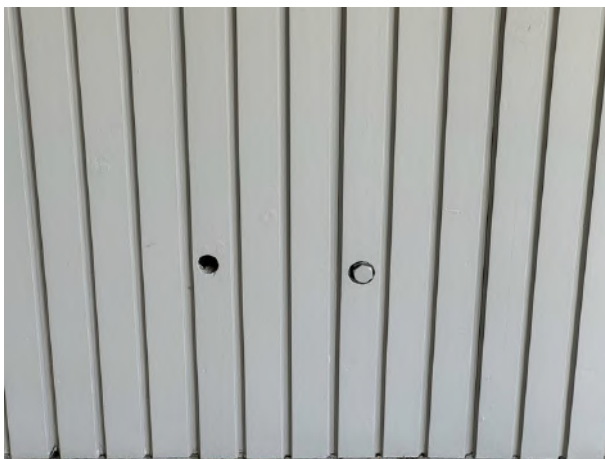


Photo 51

Recommend sealing the holes by the front door.



Photo 52

No clearance on the entrance timber cladding to tile junctions. Recommend monitoring and keeping this area free from debris.



Photo 53

South elevation. Fibre cement sheeting on the ground floor with fibre cement weather boards on the first floor.



Photo 54

Rotten timber trim on the southwest soffit.



Photo 55

Window has been boarded over by the kitchen. Functional.



Photo 56

East elevation.



Photo 57

Recommend sealing the hole by the gully trap.



Photo 58

Example of a roof to wall junction. Recommend monitoring and maintaining the sealer.



Photo 59

Jointer has slipped down on the east wall by the gate.

Exterior Joinery

Single-glazed aluminium joinery.

Coating - Powder coated.

Joinery rubbers - Shrinking or pulling away from corners.

Aluminium - No visible issues at the time of the inspection.

Hardware - Functional at the time of the inspection.

Tracks, drainage channels & weep-holes - Clear of debris.

Reveals - Timber.

Finish - Painted.

Damage - None visible at the time of the inspection.

Cladding/soffit junctions - No visible issues at the time of the inspection.

Exterior flashings - Head flashings installed.

Scribers and/or seals - Seal incomplete or degraded.

Entrance doors - Timber door and frame.

Garage joinery - Single-glazed.

Defects - Refer to the photos below.

Recommendations:

Any incomplete or damaged exterior side seals at the cladding to the exterior joinery units need to be repaired to stop water ingress.

To prevent water & draughts from entering, it is recommended to replace or properly re-seat the rubber seals on the exterior of the joinery. By doing so, you can ensure a tight seal that effectively safeguards against water & draught ingress.



Photo 60

Example of aluminium joinery with timber reveals.



Photo 61

Example of stretched and broken joinery rubbers.



Photo 62

Paint flaking on the ensuite window sill. Recommend correct preparation and decoration.



Photo 63

Example of typical modern aluminium joinery detail. Metal head flashings and sealed down the sides. Functional.



Photo 64

Example of typical original ground floor aluminium joinery detail. Metal head flashings and sealed down the sides.



Photo 65

Visible gaps on a number of the sides of the first floor joinery units. Recommend sealing.



Photo 66

Example of damage to the coating of a number of first floor joinery handles. Some handles were tight and would benefit from lubricating.

NON-STRUCTURAL SYSTEMS

The following is a summary of the non-structural systems in the dwelling:

System	Type
Driveway	Concrete
Boundary Fences	Timber
Paths	Tiled
Deck	Timber
Gates	Timber framed and covering.
Verandah/Porch	Timber
Drainage	Gully-traps, stormwater risers, sumps
Heating.Cooling.Ventilation	Heatpump's, ventilation system and solid fuel burner
Services	Services

Driveway

Plain concrete.

Saw cuts - Yes.

Cracking - Areas of cracking visible.

Recommendations:

General upkeep and maintenance of driveway by cleaning and keeping free of debris.



Photo 67

Concrete driveway with visible cracking.

Boundary Fences

Painted timber palings fixed to timber rails with timber posts.
Condition of cladding - Damage (refer to photos).
Alignment - Some areas are out of alignment, refer to photos.
Post and rail condition - Refer to photos below.
Average height - 1.8m.

Masonry block boundary fencing with a paint finish.

Recommendations:

General upkeep and maintenance, keep vegetation and soils clear of timbers as these timbers are only exterior treated and will rot if vegetation or soils are up against them.



Photo 68

Masonry block wall with timber inserts, located on the northern boundary.



Photo 69

Timber paling fence located on the western boundary.



Photo 70

The panel in front of the second Feijoa tree has come away from the post. Recommend re-fixing both rails.



Photo 71

The top capping rail has twisted and some of the palings requiring re-nailing.



Photo 72

Timber post and rail fence located on the southern boundary.



Photo 73

Eastern boundary timber paling fence has a large rotation and is quite loose. Fence would benefit from additional posts.



Photo 74

Top rail has detached.



Photo 75

Visible rot in the top of some of the timber posts.



Photo 76

Some of the timber posts have been replaced.

Paths

Tiled paths.

Recommendations:

General upkeep and maintenance.



Photo 77

Tiled paths are located along the west side off the house of the front entrance.



Photo 78

Chipping on the top of the tile.



Photo 79

Chipping in some of the tiles.



Photo 80

Example of cracking through the tiles.



Photo 81

Tiles have broken at the end of the path by the driveway.



Photo 82

Path with rock edging, located on the east side of the house leading to the shed.

Deck

Timber deck over timber substrate with nail fixings.

Connected to dwelling - Not visible. Gap visible between deck and cladding.

Condition of visible timbers - No visible deterioration of timbers except for the step in the photo below.

Defects - None visible at the time of the inspection.

Recommendations:

General upkeep and maintenance.



Photo 83

Timber deck and stairs off the living and dining room on the south side of the house.



Photo 84

Timber privacy wall and seating located on the south and east side of the deck.



Photo 85

Timber deck off the kitchen on the east side of the house.

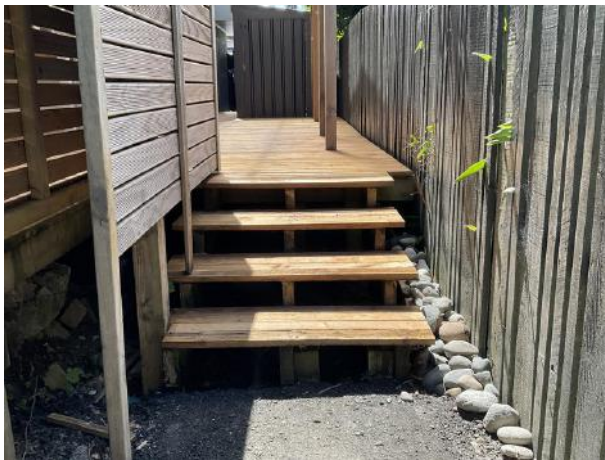


Photo 86

Timber stairs leading to the eastern deck. Recommend installing a handrail.



Photo 87

Visible rot in the decking timber on the bottom step.

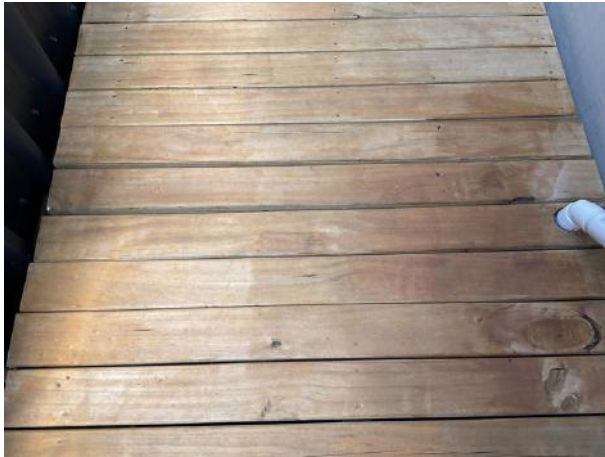


Photo 88

Loose decking timbers by the gully trap. Removable to view gully trap.



Photo 89

Timber framed decks.

Gates

Material - Timber.
Functional - Yes.
Hinges - Functional.
Latches - Functional.

Recommendations:

Recommend regular lubrication of the hinges and latch to maintain full function.

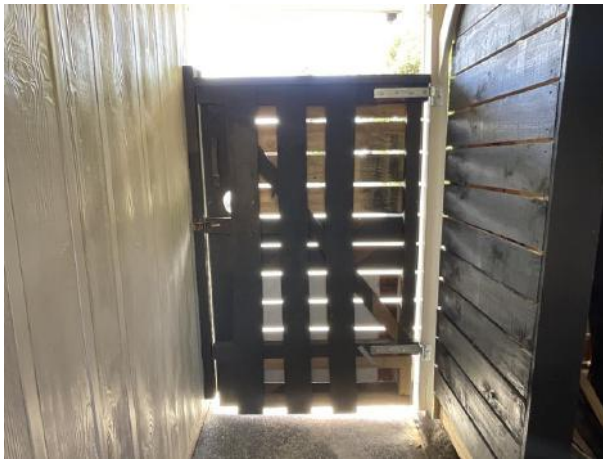


Photo 90

Timber gate located on the northeast corner of the house.

Verandah/Porch

A VERANDA IS defined in the MBIE 2014 document Guidance: Building work that does not require a building consent as ‘a long porch [that] can extend along the full length, or even around more than one side, of a building.’ Porches are defined as ‘roofed structures which project from the face of a building [that] may have sides but ... are open at the front [and] generally used to protect a building entrance and to provide shelter.’ Both verandas and porches ‘often extend over raised decks or patios’.

Because of the definition, veranda's and porches timber treatment , sizing and structural integrity must comply with NZS3604:2011.

Recommendations:

General upkeep and maintenance.



Photo 91

Timber framed verandah located on the west side of the house.



Photo 92

Timber verandah with polycarbonate roofing over the east deck.



Photo 93

100 x 50 purlins attached to the fascia with galvanised joist hangers. Functional.



Photo 94

Tape along the verandah to wall junction.

Drainage

Gully traps and sumps. These were checked with no visible issues at the time of inspection.

Recommendations:

Keep vegetation and soils clear of drainage.

Gully traps should be accessible for cleaning and maintenance.

A deck may be built over a gully trap, but at least 600 mm of clear access space above the trap must be provided. This is for access to the gully trap for drainage inspections and maintenance in the event of blockages.



Photo 95

Channel drain running in front of the tiled path.



Photo 96

Example of a stormwater sump.



Photo 97

Gully trap located under the eastern deck.

Heating.Cooling.Ventilation

Ventilation system
Manufacturer - HRV.

Heatpump - Power connected at the time of inspection, full operation not tested.
Manufacturer - Mitsubishi and Fujitsu.
Location - Bedroom and living room.

Solid fuel burner.
Brand - Nectre.
Location - Living room.

Recommendations:

Service as per manufacturer's recommendations. Clean heatpump filters every 4 - 12 weeks depending on the placement of the unit.

Ventilation system filters should be inspected annually and replaced periodically or as required by the manufacturer.

It is recommended to have the wood burner flue cleaned and checked annually.



Photo 98

Outdoor heat pump unit located on the northern balcony.



Photo 99

Mitsubishi electric heat pump located in bedroom four.



Photo 100

Scope wall heater located in these first floor hallway.



Photo 101

Nectre freestanding woodburner located in the living room.



Photo 102

Fujitsu Inverter wall heatpump located in the living room.



Photo 103

HRV ventilation control panel located in the first floor hallway. Replace Filter light is on.



Photo 104

Example of a ventilation vent located throughout the house.



Photo 105

Outdoor heat pump unit located on the west side of the house.

Services

Services/systems tested - Yes - No

If there is no service/system then it is Not applicable.

Fire warning & control systems - Yes.

Heating systems - Powered on only.

Central vacuum systems - Not applicable.

Ventilation systems - Operating at the time of inspection.

Security systems - Not applicable.

Security cameras - Not applicable.

Electricity services - Yes.

Gas services - Not applicable.

Gas bottle storage - Not applicable.

Water services - Not applicable.

Hot water services - Yes.

Foul water services - Yes.

Grey water recycling system - Not applicable.

Rainwater recycling system - Not applicable.

Solar heating - Not applicable.

Solar power/panels - Not applicable.

Aerials & antennae - No.

Shading systems - Not applicable.

Telecommunications - No.

Lifts - Disabled access - Not applicable.

Water pump - Not applicable.

Storm-water soak pits - No.

Distribution board - No.

Header tank - Not applicable.

Communications hub - Not applicable.

Automatic garage door opener - Yes.

Ceiling fan - Not applicable.

Electrical

Electrical sockets - All accessible sockets and light switches throughout the house were tested at the time of the inspection - All sockets and light switches tested were operational.

Distribution board location - Garage.

Earth stake - Location - Unable to be located.

Metre box - Location - On the West side of the dwelling.

Electrical connection - Underground supply.

Water heating

Type - Low pressure electric cylinder.

Capacity - 180L.

Approximate age - 2002.
Seismic bracing - Secure in place with shelving.
Area serviced - Entire house.
Any visible defects - None visible.

Water source - Town supply.

Sewerage Disposal - Council sewer.

Recommendations:

All services should be tested and maintained by certified professionals to the manufacturer's specifications.

It is recommended to install smoke detectors within 3 metres of any sleeping space and a minimum of one per level/story.

All new smoke alarms must:

- be photoelectric
- have a battery life of at least eight years, or be hard-wired
- installed according to the manufacturer's instructions
- meet international standards.



Photo 106

Hot water cylinder located in the first floor hallway cupboard.



Photo 107

Roof space access located in the first floor hallway.



Photo 108

Distribution board located in the garage.



Photo 109

Smoke alarm located in the kitchen and hallways.



Photo 110

Metre box located on the west side of the house.



Photo 111

Water toby located In the driveway on the northern boundary.



Photo 112

Data box located on the west side of the house.



Photo 113

Example of electrical sockets tested throughout the dwelling.

CONCLUSION

The data and statistical information presented in this report were gathered from reliable, commonly utilized industry sources for survey purposes. While we have made every effort to ensure the accuracy of the information, in many cases, we cannot directly verify the information at its source and therefore cannot guarantee its accuracy.

We recommend checking the records of the local territorial authority to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

The age of the buildings was taken into consideration when the inspection and reporting was carried out. The survey of the condition of the building elements and components was carried out on the basis of 'the expected condition of the materials' considering their use, location and age.

Generally, the interior of the house appears in a tidy condition. No immediate repairs are required, and any necessary repairs can be carried out as part of normal maintenance. Minor scuffs, marks and small areas of damage are evident which are to be expected and can be attended to as part of normal maintenance.

It's important when carrying out maintenance or renovations to use licensed practitioners, where required. Hiring licensed builders, electricians, plumbers, gas fitters and drain layer helps make sure the work is done correctly, adheres to safety standards, and meets legal requirements. The use of unlicensed tradespersons may impact your insurance coverage and could ultimately result in higher costs if the work needs fixing later.

There are areas as noted within the report where maintenance is recommended.

The construction period of the building falls within the era when buildings were constructed using products that contained asbestos and lead-based paint. The products can pose a health risk if handled without due care or asbestos-containing materials are in a deteriorated state.

The floor levels in our opinion are at acceptable tolerances. There are indications of undulations and minor slopes at random locations, however, this is to be expected of older properties.

The dwelling is structurally sound and fit for purpose.